

1123.11.01 (BRD) BROAD STREET DISTRICT

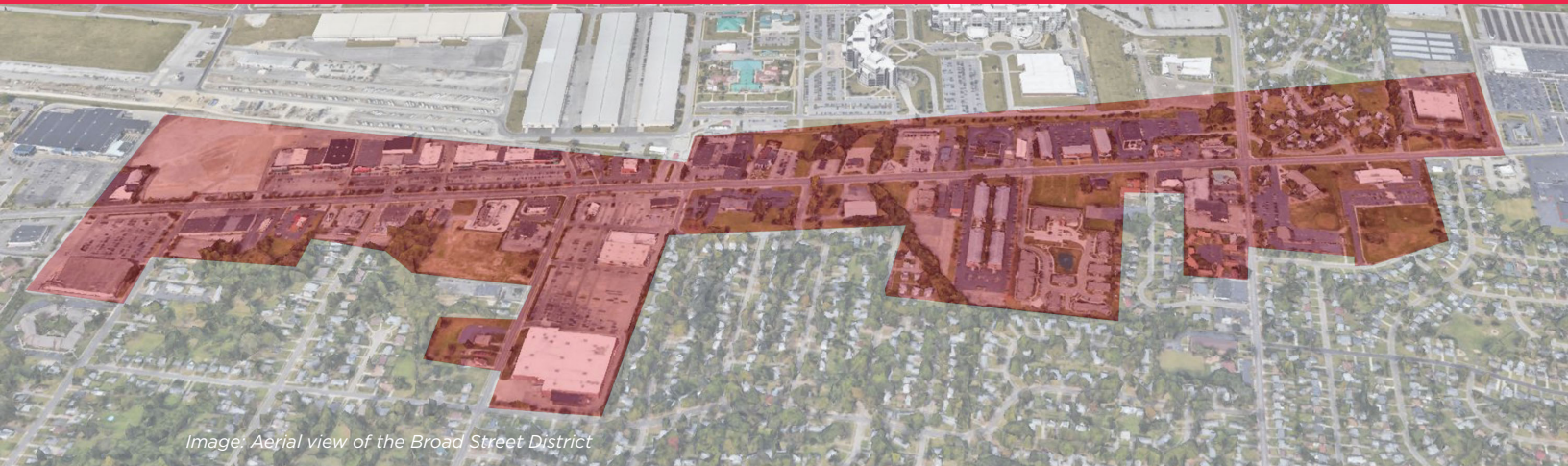


Image: Aerial view of the Broad Street District

A INTENT

The Broad Street District is intended to create a pedestrian-scaled, walkable corridor with uses focused on corporate office, neighborhood retail nodes, financial services, and restaurants to support corridor workers and those in the neighboring MILO district. Development should augment transit, active transportation and vehicular access to this corridor as a significant community spine for local residents and workers as well as regional visitors. Large-scale residential at medium to high-density are also appropriate for this corridor, with quality site design that creates pedestrian-oriented street frontages.

B PERMITTED BUILDING TYPES

The building types permitted in the BRD District are limited to the following, which shall be placed on lots with minimum dimensions sufficient to accommodate the minimum building type and setback dimensions. See Section 1123.11.06 (Building Typologies) for detailed design standards.

1. PERMITTED BUILDING TYPES	REFERENCE
Multi-Unit Building	1123.11.06 (C)
Multi-Unit Complex	1123.11.06 (D)
Small Flex Retail Building	1123.11.06 (E)
Medium Flex Retail Building	1123.11.06 (F)
Large Flex Retail Building	1123.11.06 (G)
Institutional Flex Building	1123.11.06 (H)
School and Institutional Building	1123.11.06 (J)
Community Center Building	1123.11.06 (L)
Office Building	1123.11.06 (M)
Office-Corporate Building	1123.11.06 (N)
Retail Large Format Building	1123.11.06 (O)
Assembly Use Building	1123.11.06 (R)
Maker Space or Live-Work Units	1123.11.06 (S)

CORRIDOR ZONING DISTRICTS

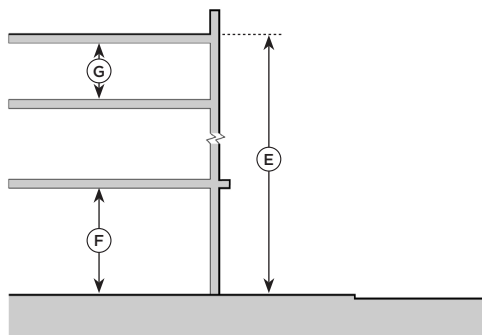
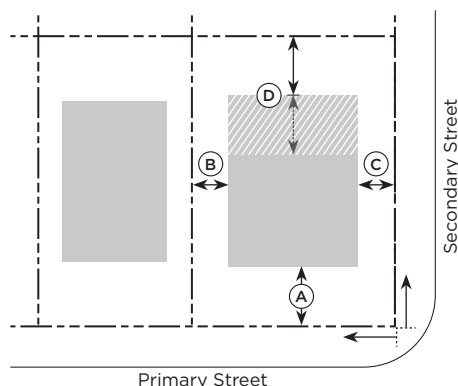
1123.11.01 (BRD) BROAD STREET DISTRICT

Key for Diagrams

--- Lot Line

--- Setback Line

Buildable Area



C BUILDING PLACEMENT

1. SETBACK		
Front Yard (Min. Ft.)	20	(A)
Front Yard (Max. Ft.)	N/A	
Side Yard (Min. Ft.)	10	(B)
Side Yard (Max. Ft.)	N/A	
Side Street, corner lot (Min. Ft.)	15	(C)
Rear Yard (Min. Ft.)	20; except when abutting a residential zone or use, then 40	(D)
2. LOT COVERAGE		
Lot Coverage	N/A	
Open Space (Min.) - Excluding paved areas	10%	
3. SITE		
Lot Frontage	N/A	
Size	N/A	
NOTES		
All floors must have a primary ground-floor entrance facing the primary or side street.		
Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on primary or secondary street-facing facades. Garage doors with minimum 70% transparency that do not serve a loading and unloading function are permitted on the primary or secondary street facades.		
Dumpsters must be fully screened and located between the primary structure and the rear property line.		

D BUILDING FORM

Each proposed building in the BRD District shall comply with the following building form standards.

1. HEIGHT			
Max Stories	5	(E)	
Ground Floor (Min. Ft.)	15	(F)	
Upper Floors (Min. Ft.)	10	(G)	
2. REQUIRED FRONTAGE TYPE			
FRONTAGE TYPE	PRIMARY STREET	SECONDARY STREET	REFERENCE
Shopfront	Permitted	Permitted	1123.11.08 (A)
Patio	Permitted	Permitted	1123.11.08 (B)
Yard	Permitted	Permitted	1123.11.08 (E)
Terrace	Permitted	Permitted	1123.11.08 (F)
Forecourt	Permitted	Permitted	1123.11.08 (G)
Streetwall	Permitted	Permitted	1123.11.08 (H)
NOTES			
Any buildings over 75' in width must be articulated with a demising line or designed to read as a series of buildings no wider than 75' each.			
No mechanical systems shall be visible from any street. Any building mechanical equipment must be fully shielded by shrubs, a wall, or a wood, metal or composite fence. No mechanical or utility equipment may be located within 40 feet of the front façade or corner. Unit exhaust and louvers are not permitted on facades; systems shall route through roof.			
Lighting shall be aimed downward at the building such that no light projects above the fixture. Building lighting should be mounted at 8 feet or higher.			
Ground level facades must have glazing on a minimum of 40% of all walls that face primary or secondary streets. Where there is a residential use on the first floor, windows shall comprise no less than 20% of the first floor façade.			

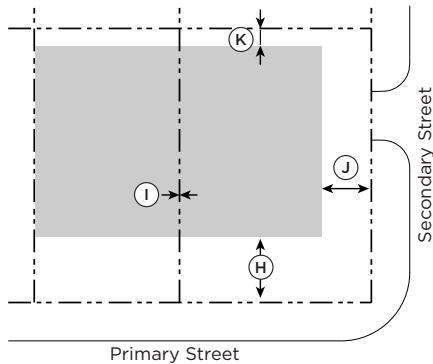
1123.11.01 (BRD) BROAD STREET DISTRICT

Key for Diagrams

- - - Lot Line

- - - Setback Line

Buildable Area

**E** PARKING PLACEMENT

Off-street parking shall be located in compliance with the following setback standards.

1. LOCATION (DISTANCE FROM PROPERTY LINE)		
Front Setback (Min. Ft.)	20	(H)
Side Setback (Min. Ft.)	0	(I)
Side Street Setback (Min. Ft.)	15	(J)
Rear Setback (Min. Ft.)	5	(K)
2. PARKING LOCATION		
Side or Rear Yard		
3. PARKING DESIGN		
5' landscaped strip at perimeter and landscaped parking islands for every 30 parking spaces. Green infrastructure installation (e.g. bioswales) may be substituted for parking islands. See description and illustration of H. Green Infrastructure in Section 1123.11.07 (Open Space Typologies).		

F SIGNAGE

The signage types permitted in the BRD District are limited to the following in the table below. See Section 1123.11.09 (Sign Types) for detailed standards.

1. PERMITTED SIGN TYPES	REFERENCE
Flat Wall Signs	1123.11.09 (A)
Free-Standing Signs	1123.11.09 (B)
Projecting Signs	1123.11.09 (C)
Marquee Sign	1123.11.09 (D)
Window and Door Sign	1123.11.09 (E)
Roof Sign	1123.11.09 (F)

G PERMITTED OPEN SPACE TYPES

The open space types permitted in the BRD District are limited to the following, which shall be placed on lots with minimum dimensions sufficient to accommodate the minimum open space type and setback dimensions. See Section 1123.11.07 (Open Space Typologies) for detailed standards.

1. PERMITTED OPEN SPACE TYPES	REFERENCE
Greenway / Trail	1123.11.07 (A)
Plaza	1123.11.07 (B)
Square	1123.11.07 (C)
Green	1123.11.07 (D)
Passage	1123.11.07 (E)
Pocket Plaza	1123.11.07 (F)
Green Infrastructure	1123.11.07 (H)
2. STREETSCAPE	
Development shall connect to the public sidewalk, bikeway network, adjacent parks, and multi-use trail network. Sidewalks shall be provided as part of new development at a minimum of 8' in width. In instances where there are documented, practical challenges to providing the sidewalk based on the site configuration, or there is an existing sidewalk meeting the standards, an administrative waiver may be granted to provide relief from this provision.	
Street trees shall be provided as part of all new developments. One street tree must be planted for every 40 lineal feet of frontage along a primary or secondary street. In instances where there are documented, practical challenges to providing the street trees based on the site configuration, an administrative waiver may be granted to provide relief from street tree provision.	

CORRIDOR ZONING DISTRICTS

1123.11.01 (BRD) BROAD STREET DISTRICT

H PERMITTED LAND USES AND PERMIT REQUIREMENTS

Land uses in the following table are defined in Section 1123.11.10 (Use Definitions).

TABLE 1123.11.01A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	BRD	
Accessory Uses (Any use permitted within the district shall be permitted as an accessory use so long as it is subordinate to the primary use in total GFA devoted to the accessory use)	P	
Parks and Trails	P	
RESIDENTIAL		
Dwelling, Single-Unit, Detached	N/A	
Dwelling, Two-Unit	N/A	
Dwelling, Single-Unit, Attached	N/A	
Dwelling, Three- and Four-Unit	SP	
Dwelling, Multi-Unit (Four to Twelve Dwelling Units)	P	
Dwelling, Multi-Unit (> Twelve Dwelling Units)	P	
Group Care Facility	P	
Group Home	P	
Nursing Home	P	
Personal Care Boarding Home	P	
Senior Independent Living Facility	P	
Senior Assisted Living Facility	P	
Skilled Care Facility	P	
Transitional Dwelling	SP	

Permitted Use	P
Special Permit Use	SP

1123.11.01 (BRD) BROAD STREET DISTRICT

TABLE 1123.11.01A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	BRD	
COMMERCIAL		
Personal Service	P	
Retail Sales < 5,000 sf	P	
Retail Sales 5,000 sf to 25,000 sf	P	
Retail Sales >25,000 sf	P	
Commercial Retail Sales and Services	P	
Business and Professional Offices	P	
Organizations and associations organized on a profit or non-profit basis for promotion of membership interests.	P	
Drive-In Windows and Drive-Through Facilities	P	
Eating and Drinking Establishments	P	
Off-Street Public Parking Lots and Garages	SP	
Nursery and Garden Supply Stores	P	
Instructional Spaces and Studios	P	
Gyms and Physical Fitness Facilities	P	
Gasoline Stations	SP	
New and Used Dealers In Motorcycle, Motorized Bicycle and Tricycle and Not Including Motor Homes, Snowmobiles and Their Parts and Accessories and Including Repair Services Thereto.	SP	

TABLE 1123.11.01A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	BRD	
COMMERCIAL		
Recreational Vehicle Sales	SP	
Hotels, Motels or Tourist Houses	SP	
Vehicle and Large Equipment Repair	SP	
Car Wash Establishments	P	
Funeral Home and Services, Excluding Crematories	P	
Crematories	N/A	
Sexually oriented Business	N/A	
Commercial Outdoor Recreation	P	
Commercial Indoor Recreation	P	
Veterinary offices and animal hospitals, not including facilities for outside boarding or exercising of animals.	P	
Non-Industrial Food Production and Catering	P	
Brewery or Distillery	N/A	
Micro-Brewery or Micro-Distillery	P	
Food/Takeout Stall	SP	

Permitted Use	P
Special Permit Use	SP

CORRIDOR ZONING DISTRICTS

1123.11.01 (BRD) BROAD STREET DISTRICT

TABLE 1123.11.01A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	BRD	
PUBLIC FACILITIES, INSTITUTIONS, AND TRANSPORTATION		
Passenger Transportation Agencies and Terminals	SP	
Day Care, Type A	N/A	
Day Care, Type B	N/A	
Day Care Center	SP	
Small-Scale Assembly	N/A	
Large-Scale Assembly	SP	
Public Utility Rights-Of-Way and Pertinent Structures and Telecommunication Towers	P	
Solar Facilities	SP	
Educational Institution	P	
Governmentally Owned and/or Operated Buildings and Facilities	P	
MEDICAL		
Medical and Health Care Offices	P	
Urgent Care or Clinic	P	
Hospital	P	

TABLE 1123.11.01A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	BRD	
INDUSTRIAL		
Research and Development Facilities	SP	
Warehousing, Wholesaling and Transportation Services	N/A	
Storage/Mini Storage	N/A	
Maker Space	P	
Small Light Industrial	SP	
Large Light Industrial	N/A	
Heavy Industrial	N/A	
Industrial, Commercial, or Construction Services	N/A	
Building Material Dealers and Sales	N/A	
Drilling or Extractive Activities	N/A	

1123.11.02 (MAIN) MAIN STREET DISTRICT

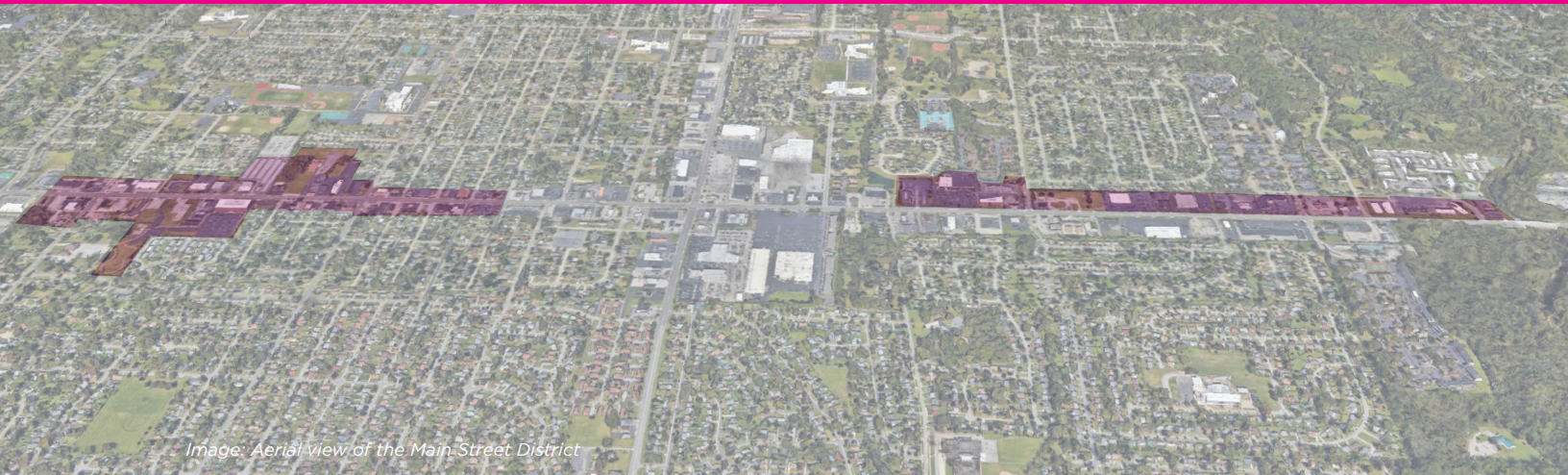


Image: Aerial view of the Main Street District

A INTENT

The Main Street District is intended to create a commercial corridor that accommodates a variety of retail, service, dining, and entertainment uses. That may include auto-oriented uses within the context of improved site design for Main Street walkability and access to transit. Large-scale residential at medium to high-density are also appropriate for this corridor, with quality site design that creates pedestrian-oriented street frontages.

B PERMITTED BUILDING TYPES

The building types permitted in the MAIN District are limited to the following, which shall be placed on lots with minimum dimensions sufficient to accommodate the minimum building type and setback dimensions. See Section 1123.11.06 (Building Typologies) for detailed design standards.

1. PERMITTED BUILDING TYPES	REFERENCE
Attached Single-Family Building	1123.11.06 (A)
Multi-Unit Building	1123.11.06 (C)
Multi-Unit Complex	1123.11.06 (D)
Small Flex Retail Building	1123.11.06 (E)
Medium Flex Retail Building	1123.11.06 (F)
Large Flex Retail Building	1123.11.06 (G)
Institutional Flex Building	1123.11.06 (H)
Primary School Building	1123.11.06 (I)
School and Institutional Building	1123.11.06 (J)
Bed and Breakfast Building	1123.11.06 (K)
Community Center Building	1123.11.06 (L)
Office Building	1123.11.06 (M)
Office-Corporate Building	1123.11.06 (N)
Retail Large Format Building	1123.11.06 (O)
Assembly Use Building	1123.11.06 (R)

CORRIDOR ZONING DISTRICTS

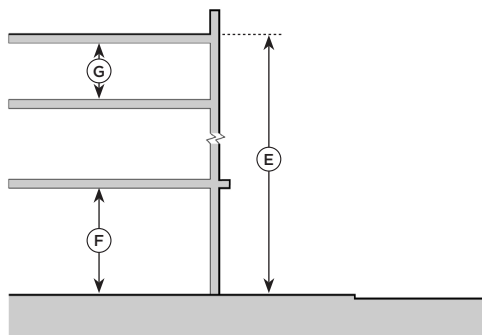
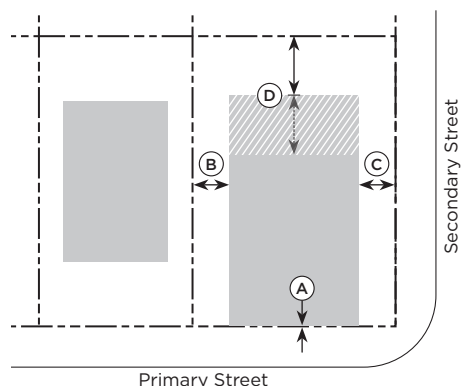
1123.11.02 (MAIN) MAIN STREET DISTRICT

Key for Diagrams

--- Lot Line

--- Setback Line

Buildable Area



C BUILDING PLACEMENT

1. SETBACK		
Front Yard (Min. Ft.)	0	(A)
Front Yard (Max. Ft.)	N/A	
Side Yard (Min. Ft.)	10	(B)
Side Yard (Max. Ft.)	N/A	
Side Street, corner lot (Min. Ft.)	15	(C)
Rear Yard (Min. Ft.)	20; except when abutting a residential zone or use, then 40	(D)
2. LOT COVERAGE		
Lot Coverage	N/A	
Open Space (Min.) - Excluding paved areas	30%	
3. SITE		
Lot Frontage	N/A	
Size	N/A	
NOTES		
All floors must have a primary ground-floor entrance facing the primary or side street.		
Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on primary street-facing facades. Garage doors with minimum 70% transparency that do not serve a loading and unloading function are permitted on the primary or secondary street facades.		
Dumpsters must be fully screened and located in the rear.		

D BUILDING FORM

Each proposed building in the MAIN District shall comply with the following building form standards.

1. HEIGHT			
Max Stories	5	(E)	
Ground Floor (Min. Ft.)	15	(F)	
Upper Floors (Min. Ft.)	10	(G)	
2. REQUIRED FRONTAGE TYPE			
FRONTAGE TYPE	PRIMARY STREET	SECONDARY STREET	REFERENCE
Shopfront	Permitted	Permitted	1123.11.08 (A)
Patio	Permitted	Permitted	1123.11.08 (B)
Yard	Permitted	Permitted	1123.11.08 (E)
Terrace	Permitted	Permitted	1123.11.08 (F)
Forecourt	Permitted	Permitted	1123.11.08 (G)
Streetwall	Permitted	Permitted	1123.11.08 (H)
NOTES			
Any buildings over 75' in width must be articulated with a demising line or designed to read as a series of buildings no wider than 75' each.			
No mechanical systems shall be visible from any street. Any building mechanical equipment must be fully shielded by shrubs, a wall, or a wood, metal or composite fence. No mechanical or utility equipment may be located within 40 feet of the front façade or corner. Unit exhaust and louvers are not permitted on facades; systems shall route through roof.			
Lighting shall be aimed downward at the building such that no light projects above the fixture. Building lighting should be mounted at 8 feet or higher.			
Ground level facades must have glazing on a minimum of 40% of all walls that face primary or secondary streets. Where there is a residential use on the first floor, windows shall comprise no less than 20% of the first floor façade.			

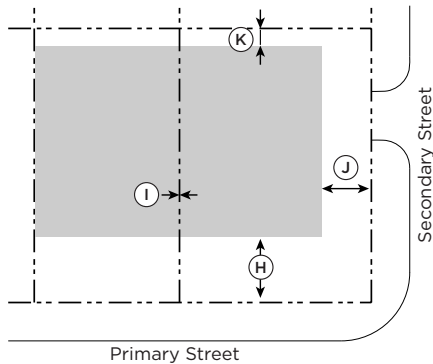
1123.11.02 (MAIN) MAIN STREET DISTRICT

Key for Diagrams

- - - - Lot Line

- - - - Setback Line

Buildable Area

**E** PARKING PLACEMENT

Off-street parking shall be located in compliance with the following setback standards.

1. LOCATION (DISTANCE FROM PROPERTY LINE)		
Front Setback (Min. Ft.)	20	(H)
Side Setback (Min. Ft.)	0	(I)
Side Street Setback (Min. Ft.)	15	(J)
Rear Setback (Min. Ft.)	5	(K)
2. PARKING LOCATION		
Side or Rear Yard		
3. PARKING DESIGN		
5' landscaped strip at perimeter and landscaped parking islands for every 30 parking spaces. Green infrastructure installation (e.g. bioswales) may be substituted for parking islands. See description and illustration of H. Green Infrastructure in Section 1123.11.07 (Open Space Typologies).		

F SIGNAGE

The signage types permitted in the MAIN District are limited to the following in the table below. See Section 1123.11.09 (Sign Types) for detailed standards.

1. PERMITTED SIGN TYPES	REFERENCE
Flat Wall Signs	1123.11.09 (A)
Free-Standing Signs	1123.11.09 (B)
Projecting Signs	1123.11.09 (C)
Marquee Sign	1123.11.09 (D)
Window and Door Sign	1123.11.09 (E)
Roof Sign	1123.11.09 (F)

G PERMITTED OPEN SPACE TYPES

The open space types permitted in the MAIN District are limited to the following, which shall be placed on lots with minimum dimensions sufficient to accommodate the minimum open space type and setback dimensions. See Section 1123.11.07 (Open Space Typologies) for detailed standards.

1. PERMITTED OPEN SPACE TYPES	REFERENCE
Greenway / Trail	1123.11.07 (A)
Plaza	1123.11.07 (B)
Square	1123.11.07 (C)
Green	1123.11.07 (D)
Passage	1123.11.07 (E)
Pocket Plaza	1123.11.07 (F)
Green Infrastructure	1123.11.07 (H)

2. STREETSCAPE

Development shall connect to the public sidewalk, bikeway network, adjacent parks, and multi-use trail network. Sidewalks shall be provided as part of new development at a minimum of 6' in width and a planting strip at a minimum of 3'. In instances where there are documented, practical challenges to providing the sidewalk and/or planting strip based on the site configuration, or there is an existing sidewalk meeting the standards, an administrative waiver may be granted to provide relief from this provision.

Street trees shall be provided as part of all new developments. One street tree must be planted for every 40 lineal feet of frontage along a primary or secondary street. In instances where there are documented, practical challenges to providing the street trees based on the site configuration, an administrative waiver may be granted to provide relief from street tree provision.

CORRIDOR ZONING DISTRICTS

1123.11.02 (MAIN) MAIN STREET DISTRICT

H PERMITTED LAND USES AND PERMIT REQUIREMENTS

Land uses in the following table are defined in Section 1123.11.10 (Use Definitions).

TABLE 1123.11.02A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	MAIN	
Accessory Uses (Any use permitted within the district shall be permitted as an accessory use so long as it is subordinate to the primary use in total GFA devoted to the accessory use)	P	
Parks and Trails	P	
RESIDENTIAL		
Dwelling, Single-Unit, Detached	N/A	
Dwelling, Two-Unit	N/A	
Dwelling, Single-Unit, Attached	N/A	
Dwelling, Three- and Four-Unit	N/A	
Dwelling, Multi-Unit (Four to Twelve Dwelling Units)	P	
Dwelling, Multi-Unit (> Twelve Dwelling Units)	P	
Group Care Facility	P	
Group Home	P	
Nursing Home	P	
Personal Care Boarding Home	P	
Senior Independent Living Facility	P	
Senior Assisted Living Facility	P	
Skilled Care Facility	P	
Transitional Dwelling	SP	

Permitted Use	P
Special Permit Use	SP

1123.11.02 (MAIN) MAIN STREET DISTRICT

TABLE 1123.11.02A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	MAIN	
COMMERCIAL		
Personal Service	P	
Retail Sales < 5,000 sf	P	
Retail Sales 5,000 sf to 25,000 sf	P	
Retail Sales >25,000 sf	P	
Commercial Retail Sales and Services	P	
Business and Professional Offices	P	
Organizations and associations organized on a profit or non-profit basis for promotion of membership interests.	P	
Drive-In Windows and Drive-Through Facilities	P	
Eating and Drinking Establishments	P	
Off-Street Public Parking Lots and Garages	SP	
Nursery and Garden Supply Stores	P	
Instructional Spaces and Studios	P	
Gyms and Physical Fitness Facilities	P	
Gasoline Stations	SP	
New and Used Dealers In Motorcycle, Motorized Bicycle and Tricycle and Not Including Motor Homes, Snowmobiles and Their Parts and Accessories and Including Repair Services Thereto.	SP	

TABLE 1123.11.02A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	MAIN	
COMMERCIAL		
Recreational Vehicle Sales	N/A	
Hotels, Motels or Tourist Houses	SP	
Vehicle and Large Equipment Repair	N/A	
Car Wash Establishments	P	
Funeral Home and Services, Excluding Crematories	P	
Crematories	N/A	
Sexually oriented Business	N/A	
Commercial Outdoor Recreation	P	
Commercial Indoor Recreation	P	
Veterinary offices and animal hospitals, not including facilities for outside boarding or exercising of animals.	P	
Non-Industrial Food Production and Catering	P	
Brewery or Distillery	N/A	
Micro-Brewery or Micro-Distillery	P	
Food/Takeout Stall	SP	

Permitted Use	P
Special Permit Use	SP

CORRIDOR ZONING DISTRICTS

1123.11.02 (MAIN) MAIN STREET DISTRICT

TABLE 1123.11.02A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	MAIN	
PUBLIC FACILITIES, INSTITUTIONS, AND TRANSPORTATION		
Passenger Transportation Agencies and Terminals	SP	
Day Care, Type A	N/A	
Day Care, Type B	N/A	
Day Care Center	SP	
Small-Scale Assembly	N/A	
Large-Scale Assembly	SP	
Public Utility Rights-Of-Way and Pertinent Structures and Telecommunication Towers	P	
Solar Facilities	SP	
Educational Institution	P	
Governmentally Owned and/or Operated Buildings and Facilities	P	
MEDICAL		
Medical and Health Care Offices	P	
Urgent Care or Clinic	P	
Hospital	P	

TABLE 1123.11.02A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	MAIN	
INDUSTRIAL		
Research and Development Facilities	SP	
Warehousing, Wholesaling and Transportation Services	N/A	
Storage/Mini Storage	N/A	
Maker Space	P	
Small Light Industrial	SP	
Large Light Industrial	N/A	
Heavy Industrial	N/A	
Industrial, Commercial, or Construction Services	N/A	
Building Material Dealers and Sales	N/A	
Drilling or Extractive Activities	N/A	

Permitted Use	P
Special Permit Use	SP

1123.11.03 (SH) SOUTH HAMILTON DISTRICT

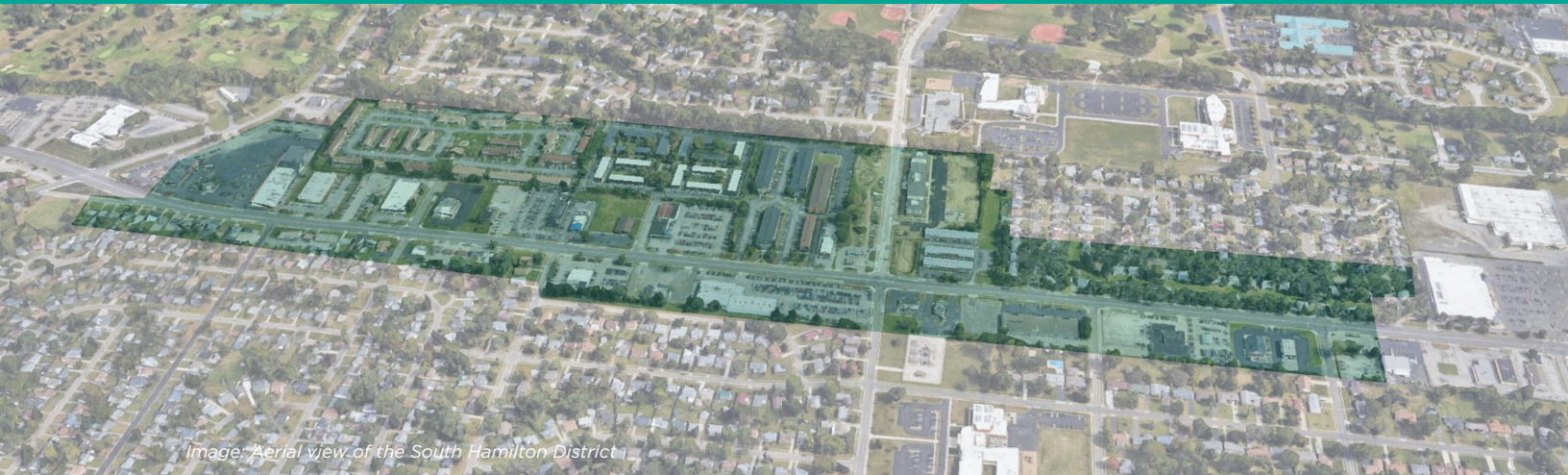


Image: Aerial view of the South Hamilton District

A INTENT

The South Hamilton District is intended to create a commercial corridor that accommodates a variety of retail, service, dining, and entertainment uses. That may include auto-oriented uses within the context of improved site design for Hamilton Road walkability and access to transit. Large-scale residential at medium to high-density are also appropriate for this corridor, with quality site design that creates pedestrian-oriented street frontages. Conversion of smaller-scale legacy residential uses to new development should incorporate multiple sites, to improve site access and pedestrian-orientation of the streetscape.

B PERMITTED BUILDING TYPES

The building types permitted in the SH District are limited to the following, which shall be placed on lots with minimum dimensions sufficient to accommodate the minimum building type and setback dimensions. See Section 1123.11.06 (Building Typologies) for detailed design standards.

1. PERMITTED BUILDING TYPES	REFERENCE
Multi-Unit Complex	1123.11.06 (D)
Small Flex Retail Building	1123.11.06 (E)
Medium Flex Retail Building	1123.11.06 (F)
Large Flex Retail Building	1123.11.06 (G)
Institutional Flex Building	1123.11.06 (H)
School and Institutional Building	1123.11.06 (J)
Community Center Building	1123.11.06 (L)
Office Building	1123.11.06 (M)
Office-Corporate Building	1123.11.06 (N)
Retail Large Format Building	1123.11.06 (O)
Assembly Use Building	1123.11.06 (R)
Maker Space or Live-Work Units	1123.11.06 (S)

CORRIDOR ZONING DISTRICTS

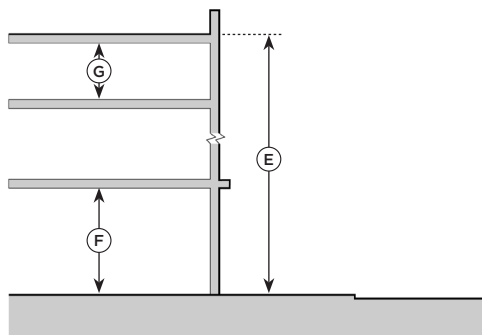
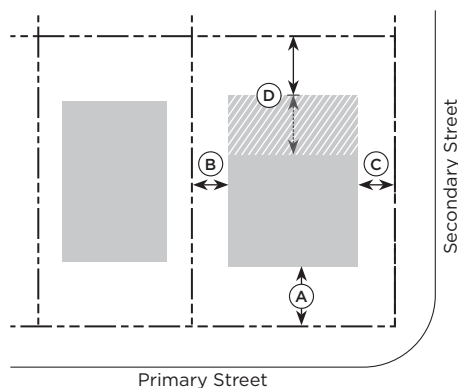
1123.11.03 (SH) SOUTH HAMILTON DISTRICT

Key for Diagrams

--- Lot Line

--- Setback Line

Buildable Area



C BUILDING PLACEMENT

1. SETBACK		
Front Yard (Min. Ft.)	20	(A)
Front Yard (Max. Ft.)	N/A	
Side Yard (Min. Ft.)	10	(B)
Side Yard (Max. Ft.)	N/A	
Side Street, corner lot (Min. Ft.)	15	(C)
Rear Yard (Min. Ft.)	20; except when abutting a residential zone or use, then 40	(D)
2. LOT COVERAGE		
Lot Coverage	N/A	
Open Space (Min.) - Excluding paved areas	30%	
3. SITE		
Lot Frontage	N/A	
Size	N/A	
NOTES		
All floors must have a primary ground-floor entrance facing the primary or side street.		
Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on primary street-facing facades. Garage doors with minimum 70% transparency that do not serve a loading and unloading function are permitted on the primary or secondary street facades.		
Dumpsters must be fully screened and located in the rear.		

D BUILDING FORM

Each proposed building in the SH District shall comply with the following building form standards.

1. HEIGHT			
Max Stories	4	(E)	
Ground Floor (Min. Ft.)	15	(F)	
Upper Floors (Min. Ft.)	10	(G)	
2. REQUIRED FRONTAGE TYPE			
FRONTAGE TYPE	PRIMARY STREET	SECONDARY STREET	REFERENCE
Shopfront	Permitted	Permitted	1123.11.08 (A)
Patio	Permitted	Permitted	1123.11.08 (B)
Yard	Permitted	Permitted	1123.11.08 (E)
Terrace	Permitted	Permitted	1123.11.08 (F)
Forecourt	Permitted	Permitted	1123.11.08 (G)
Streetwall	Permitted	Permitted	1123.11.08 (H)
NOTES			
Any buildings over 75' in width must be articulated with a demising line or designed to read as a series of buildings no wider than 75' each.			
No mechanical systems shall be visible from any street. Any building mechanical equipment must be fully shielded by shrubs, a wall, or a wood, metal or composite fence. No mechanical or utility equipment may be located within 40 feet of the front façade or corner. Unit exhaust and louvers are not permitted on facades; systems shall route through roof.			
Lighting shall be aimed downward at the building such that no light projects above the fixture. Building lighting should be mounted at 8 feet or higher.			
Ground level facades must have glazing on a minimum of 40% of all walls that face primary or secondary streets. Where there is a residential use on the first floor, windows shall comprise no less than 20% of the first floor façade.			

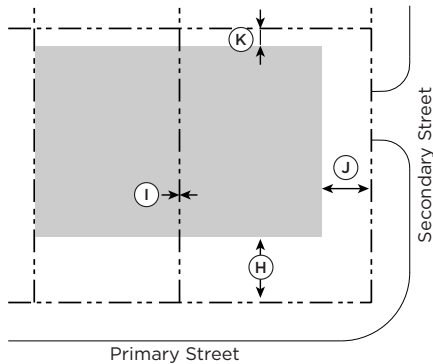
1123.11.03 (SH) SOUTH HAMILTON DISTRICT

Key for Diagrams

- - - - Lot Line

- - - - Setback Line

Buildable Area

**E** PARKING PLACEMENT

Off-street parking shall be located in compliance with the following setback standards.

1. LOCATION (DISTANCE FROM PROPERTY LINE)		
Front Setback (Min. Ft.)	20	(H)
Side Setback (Min. Ft.)	0	(I)
Side Street Setback (Min. Ft.)	15	(J)
Rear Setback (Min. Ft.)	5	(K)
2. PARKING LOCATION		
Side or Rear Yard		
3. PARKING DESIGN		
5' landscaped strip at perimeter and landscaped parking islands for every 30 parking spaces. Green infrastructure installation (e.g. bioswales) may be substituted for parking islands. See description and illustration of H. Green Infrastructure in Section 1123.11.07 (Open Space Typologies).		

F SIGNAGE

The signage types permitted in the SH District are limited to the following in the table below. See Section 1123.11.09 (Sign Types) for detailed standards.

1. PERMITTED SIGN TYPES	REFERENCE
Flat Wall Signs	1123.11.09 (A)
Free-Standing Signs	1123.11.09 (B)
Projecting Signs	1123.11.09 (C)
Marquee Sign	1123.11.09 (D)
Window and Door Sign	1123.11.09 (E)
Roof Sign	1123.11.09 (F)

G PERMITTED OPEN SPACE TYPES

The open space types permitted in the SH District are limited to the following, which shall be placed on lots with minimum dimensions sufficient to accommodate the minimum open space type and setback dimensions. See Section 1123.11.07 (Open Space Typologies) for detailed standards.

1. PERMITTED OPEN SPACE TYPES	REFERENCE
Greenway / Trail	1123.11.07 (A)
Plaza	1123.11.07 (B)
Square	1123.11.07 (C)
Green	1123.11.07 (D)
Passage	1123.11.07 (E)
Pocket Plaza	1123.11.07 (F)
Green Infrastructure	1123.11.07 (H)

2. STREETSCAPE

Development shall connect to the public sidewalk, bikeway network, adjacent parks, and multi-use trail network. Sidewalks shall be provided as part of new development at a minimum of 6' in width and a planting strip at a minimum of 3'. In instances where there are documented, practical challenges to providing the sidewalk and/or planting strip based on the site configuration, or there is an existing sidewalk meeting the standards, an administrative waiver may be granted to provide relief from this provision.

Street trees shall be provided as part of all new developments. One street tree must be planted for every 40 lineal feet of frontage along a primary or secondary street. In instances where there are documented, practical challenges to providing the street trees based on the site configuration, an administrative waiver may be granted to provide relief from street tree provision.

CORRIDOR ZONING DISTRICTS

1123.11.03 (SH) SOUTH HAMILTON DISTRICT

H PERMITTED LAND USES AND PERMIT REQUIREMENTS

Land uses in the following table are defined in Section 1123.11.10 (Use Definitions).

TABLE 1123.11.03A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	SH	
Accessory Uses (Any use permitted within the district shall be permitted as an accessory use so long as it is subordinate to the primary use in total GFA devoted to the accessory use)	P	
Parks and Trails	P	
RESIDENTIAL		
Dwelling, Single-Unit, Detached	N/A	
Dwelling, Two-Unit	N/A	
Dwelling, Single-Unit, Attached	N/A	
Dwelling, Three- and Four-Unit	P	
Dwelling, Multi-Unit (Four to Twelve Dwelling Units)	P	
Dwelling, Multi-Unit (> Twelve Dwelling Units)	P	
Group Care Facility	P	
Group Home	P	
Nursing Home	P	
Personal Care Boarding Home	P	
Senior Independent Living Facility	P	
Senior Assisted Living Facility	P	
Skilled Care Facility	P	
Transitional Dwelling	SP	

Permitted Use	P
Special Permit Use	SP

1123.11.03 (SH) SOUTH HAMILTON DISTRICT

TABLE 1123.11.03A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	SH	
COMMERCIAL		
Personal Service	P	
Retail Sales < 5,000 sf	P	
Retail Sales 5,000 sf to 25,000 sf	P	
Retail Sales >25,000 sf	P	
Commercial Retail Sales and Services	P	
Business and Professional Offices	P	
Organizations and associations organized on a profit or non-profit basis for promotion of membership interests.	P	
Drive-In Windows and Drive-Through Facilities	N/A	
Eating and Drinking Establishments	P	
Off-Street Public Parking Lots and Garages	N/A	
Nursery and Garden Supply Stores	N/A	
Instructional Spaces and Studios	P	
Gyms and Physical Fitness Facilities	P	
Gasoline Stations	SP	
New and Used Dealers In Motorcycle, Motorized Bicycle and Tricycle and Not Including Motor Homes, Snowmobiles and Their Parts and Accessories and Including Repair Services Thereto.	N/A	

TABLE 1123.11.03A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	SH	
COMMERCIAL		
Recreational Vehicle Sales	N/A	
Hotels, Motels or Tourist Houses	SP	
Vehicle and Large Equipment Repair	N/A	
Car Wash Establishments	N/A	
Funeral Home and Services, Excluding Crematories	N/A	
Crematories	N/A	
Sexually oriented Business	N/A	
Commercial Outdoor Recreation	SP	
Commercial Indoor Recreation	SP	
Veterinary offices and animal hospitals, not including facilities for outside boarding or exercising of animals.	P	
Non-Industrial Food Production and Catering	P	
Brewery or Distillery	N/A	
Micro-Brewery or Micro-Distillery	P	
Food/Takeout Stall	SP	

Permitted Use	P
Special Permit Use	SP

CORRIDOR ZONING DISTRICTS

1123.11.03 (SH) SOUTH HAMILTON DISTRICT

TABLE 1123.11.03A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	SH	
PUBLIC FACILITIES, INSTITUTIONS, AND TRANSPORTATION		
Passenger Transportation Agencies and Terminals	N/A	
Day Care, Type A	N/A	
Day Care, Type B	N/A	
Day Care Center	SP	
Small-Scale Assembly	N/A	
Large-Scale Assembly	SP	
Public Utility Rights-Of-Way and Pertinent Structures and Telecommunication Towers	N/A	
Solar Facilities	SP	
Educational Institution	P	
Governmentally Owned and/or Operated Buildings and Facilities	P	
MEDICAL		
Medical and Health Care Offices	P	
Urgent Care or Clinic	P	
Hospital	SP	

TABLE 1123.11.03A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	SH	
INDUSTRIAL		
Research and Development Facilities	N/A	
Warehousing, Wholesaling and Transportation Services	N/A	
Storage/Mini Storage	N/A	
Maker Space	P	
Small Light Industrial	N/A	
Large Light Industrial	N/A	
Heavy Industrial	N/A	
Industrial, Commercial, or Construction Services	N/A	
Building Material Dealers and Sales	N/A	
Drilling or Extractive Activities	N/A	

Permitted Use	P
Special Permit Use	SP

1123.11.04 (YEAR) YEARLING ROAD DISTRICT

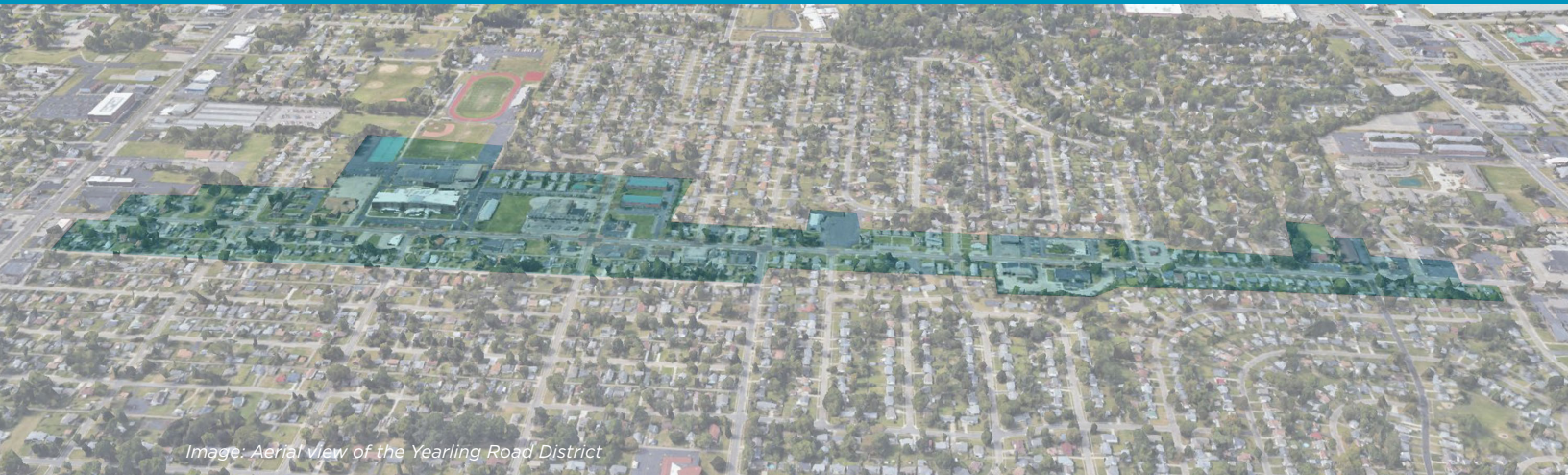


Image: Aerial view of the Yearling Road District

A INTENT

The Yearling Road District is intended to create a walkable environment for access to the numerous civic uses along the corridor and accommodate complementary commercial and residential development. Because of the presence of numerous institutional uses including the High School, City Hall, the police department and the fire station, development should include neighborhood-scale commercial nodes and medium-scale multi-family residential development to integrate with the institutional character, provide walkable access, and serve the users of the corridor and the surrounding neighborhoods. Developments may include smaller retail and service-oriented business uses, housing options focused on medium-scale townhouse multifamily, and additional institutional uses. Development should include reduced building setbacks, and quality streetscapes for residential, commercial, and smaller institutional uses, with larger park-like setbacks possible for larger institutional uses on prominent sites.

B PERMITTED BUILDING TYPES

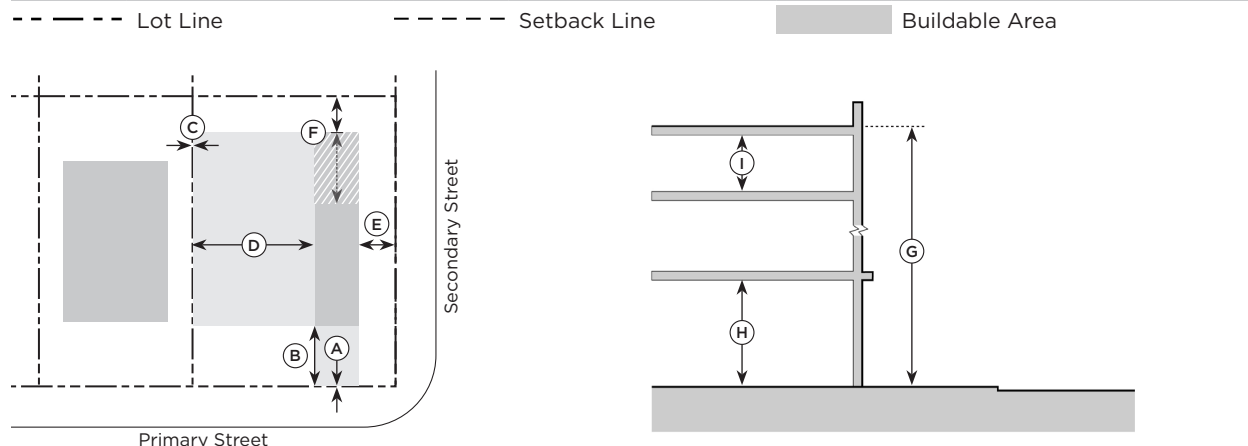
The building types permitted in the YEAR District are limited to the following, which shall be placed on lots with minimum dimensions sufficient to accommodate the minimum building type and setback dimensions. See Section 1123.11.06 (Building Typologies) for detailed design standards.

1. PERMITTED BUILDING TYPES	REFERENCE
Attached Single-Family Building	1123.11.06 (A)
Duplex Building	1123.11.06 (B)
Multi-Unit Building	1123.11.06 (C)
Multi-Unit Complex	1123.11.06 (D)
Small Flex Retail Building	1123.11.06 (E)
Medium Flex Retail Building	1123.11.06 (F)
Large Flex Retail Building	1123.11.06 (G)
Institutional Flex Building	1123.11.06 (H)
Primary School Building	1123.11.06 (I)
School and Institutional Building	1123.11.06 (J)
Bed and Breakfast Building	1123.11.06 (K)
Community Center Building	1123.11.06 (L)
Office Building	1123.11.06 (M)
Office-Corporate Building	1123.11.06 (N)
Assembly Use Building	1123.11.06 (R)

CORRIDOR ZONING DISTRICTS

1123.11.04 (YEAR) YEARLING ROAD DISTRICT

Key for Diagrams



C BUILDING PLACEMENT

1. SETBACK		
Front Yard (Min. Ft.)	0	(A)
Front Yard (Max. Ft.)	20	(B)
Side Yard (Min. Ft.)	0	(C)
Side Yard (Max. Ft.)	40 ft. (N/A for sites larger than one acre)	(D)
Side Street, corner lot (Min. Ft.)	10	(E)
Rear Yard (Min. Ft.)	10; except when abutting a residential zone or use, then 30	(F)
2. LOT COVERAGE		
Lot Coverage	N/A	
Open Space (Min.) - Excluding paved areas	0%	
3. SITE		
Lot Frontage	N/A	
Size	N/A	
NOTES		
All floors must have a primary ground-floor entrance facing the primary or side street.		
Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on primary street-facing facades. Garage doors with minimum 70% transparency that do not serve a loading and unloading function are permitted on the primary or secondary street facades.		
Dumpsters must be fully screened and located in the rear.		

D BUILDING FORM

Each proposed building in the YEAR District shall comply with the following building form standards.

1. HEIGHT			
Max Stories	4	(G)	
Ground Floor (Min. Ft.)	15	(H)	
Upper Floors (Min. Ft.)	10	(I)	
2. REQUIRED FRONTAGE TYPE			
FRONTAGE TYPE	PRIMARY STREET	SECONDARY STREET	REFERENCE
Shopfront	Permitted	Permitted	1123.11.08 (A)
Patio	Permitted	Permitted	1123.11.08 (B)
Yard	Permitted	Permitted	1123.11.08 (E)
Terrace	Permitted	Permitted	1123.11.08 (F)
Forecourt	Permitted	Permitted	1123.11.08 (G)
Streetwall	Permitted	Permitted	1123.11.08 (H)
NOTES			
Any buildings over 75' in width must be articulated with a demising line or designed to read as a series of buildings no wider than 75' each.			
No mechanical systems shall be visible from any street. Any building mechanical equipment must be fully shielded by shrubs, a wall, or a wood, metal or composite fence. No mechanical or utility equipment may be located within 40 feet of the front façade or corner. Unit exhaust and louvers are not permitted on facades; systems shall route through roof.			
Lighting shall be aimed downward at the building such that no light projects above the fixture. Building lighting should be mounted at 8 feet or higher.			
Ground level facades must have glazing on a minimum of 40% of all walls that face primary or secondary streets. Where there is a residential use on the first floor, windows shall comprise no less than 20% of the first floor façade.			

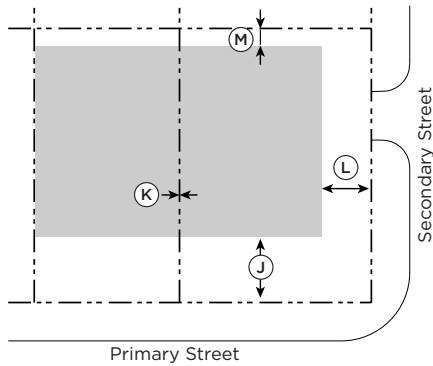
1123.11.04 (YEAR) YEARLING ROAD DISTRICT

Key for Diagrams

- - - - Lot Line

- - - - Setback Line

Buildable Area

**E** PARKING PLACEMENT

Off-street parking shall be located in compliance with the following setback standards.

1. LOCATION (DISTANCE FROM PROPERTY LINE)		
Front Setback (Min. Ft.)	20	(J)
Side Setback (Min. Ft.)	0	(K)
Side Street Setback (Min. Ft.)	15	(L)
Rear Setback (Min. Ft.)	5	(M)
2. PARKING LOCATION		
Side or Rear Yard		
3. PARKING DESIGN		
5' landscaped strip at perimeter and landscaped parking islands for every 30 parking spaces. Green infrastructure installation (e.g. bioswales) may be substituted for parking islands. See description and illustration of H. Green Infrastructure in Section 1123.11.07 (Open Space Typologies).		

F SIGNAGE

The signage types permitted in the YEAR District are limited to the following in the table below. See Section 1123.11.09 (Sign Types) for detailed standards.

1. PERMITTED SIGN TYPES	REFERENCE
Flat Wall Signs	1123.11.09 (A)
Projecting Signs	1123.11.09 (B)
Marquee Sign	1123.11.09 (D)
Window and Door Sign	1123.11.09 (E)

G PERMITTED OPEN SPACE TYPES

The open space types permitted in the YEAR District are limited to the following, which shall be placed on lots with minimum dimensions sufficient to accommodate the minimum open space type and setback dimensions. See Section 1123.11.07 (Open Space Typologies) for detailed standards.

1. PERMITTED OPEN SPACE TYPES	REFERENCE
Plaza	1123.11.07 (B)
Square	1123.11.07 (C)
Green	1123.11.07 (D)
Passage	1123.11.07 (E)
Pocket Plaza	1123.11.07 (F)
Sport Field	1123.11.07 (G)
Green Infrastructure	1123.11.07 (H)
2. STREETSCAPE	
Development shall connect to the public sidewalk, bikeway network, adjacent parks, and multi-use trail network.	

CORRIDOR ZONING DISTRICTS

1123.11.04 (YEAR) YEARLING ROAD DISTRICT

H PERMITTED LAND USES AND PERMIT REQUIREMENTS

Land uses in the following table are defined in Section 1123.11.10 (Use Definitions).

TABLE 1123.11.04A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	YEAR	
Accessory Uses (Any use permitted within the district shall be permitted as an accessory use so long as it is subordinate to the primary use in total GFA devoted to the accessory use)	P	
Parks and Trails	P	
RESIDENTIAL		
Dwelling, Single-Unit, Detached	N/A	
Dwelling, Two-Unit	N/A	
Dwelling, Single-Unit, Attached	P	
Dwelling, Three- and Four-Unit	P	
Dwelling, Multi-Unit (Four to Twelve Dwelling Units)	P	
Dwelling, Multi-Unit (> Twelve Dwelling Units)	P	
Group Care Facility	P	
Group Home	P	
Nursing Home	P	
Personal Care Boarding Home	P	
Senior Independent Living Facility	P	
Senior Assisted Living Facility	P	
Skilled Care Facility	P	
Transitional Dwelling	SP	

Permitted Use	P
Special Permit Use	SP

1123.11.04 (YEAR) YEARLING ROAD DISTRICT

TABLE 1123.11.04A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	YEAR	
COMMERCIAL		
Personal Service	P	
Retail Sales < 5,000 sf	P	
Retail Sales 5,000 sf to 25,000 sf	P	
Retail Sales >25,000 sf	P	
Commercial Retail Sales and Services	P	
Business and Professional Offices	P	
Organizations and associations organized on a profit or non-profit basis for promotion of membership interests.	P	
Drive-In Windows and Drive-Through Facilities	N/A	
Eating and Drinking Establishments	P	
Off-Street Public Parking Lots and Garages	N/A	
Nursery and Garden Supply Stores	N/A	
Instructional Spaces and Studios	P	
Gyms and Physical Fitness Facilities	P	
Gasoline Stations	N/A	
New and Used Dealers In Motorcycle, Motorized Bicycle and Tricycle and Not Including Motor Homes, Snowmobiles and Their Parts and Accessories and Including Repair Services Thereto.	N/A	

TABLE 1123.11.04A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	YEAR	
COMMERCIAL		
Recreational Vehicle Sales	N/A	
Hotels, Motels or Tourist Houses	SP	
Vehicle and Large Equipment Repair	N/A	
Car Wash Establishments	N/A	
Funeral Home and Services, Excluding Crematories	N/A	
Crematories	N/A	
Sexually oriented Business	N/A	
Commercial Outdoor Recreation	N/A	
Commercial Indoor Recreation	N/A	
Veterinary offices and animal hospitals, not including facilities for outside boarding or exercising of animals.	P	
Non-Industrial Food Production and Catering	SP	
Brewery or Distillery	N/A	
Micro-Brewery or Micro-Distillery	P	
Food/Takeout Stall	SP	

Permitted Use	P
Special Permit Use	SP

CORRIDOR ZONING DISTRICTS

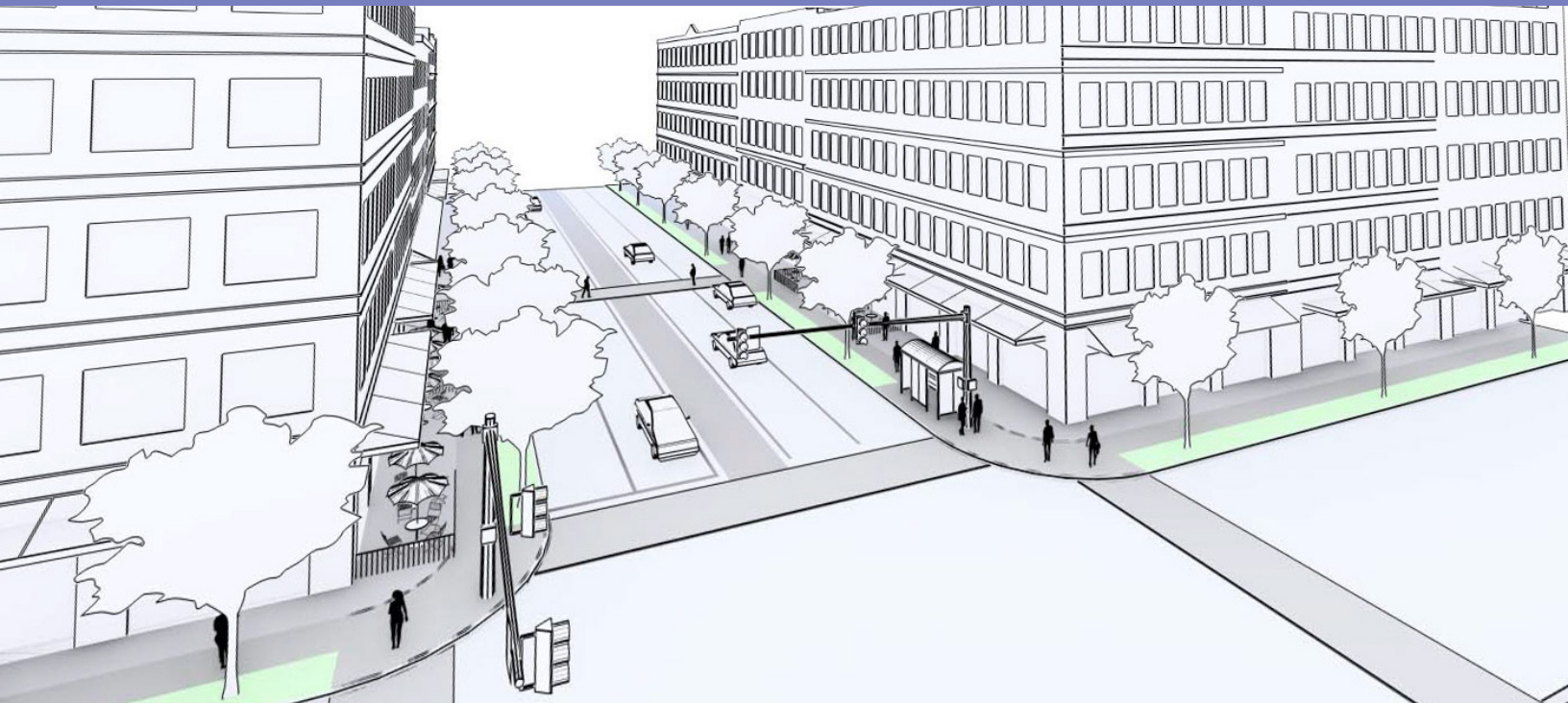
1123.11.04 (YEAR) YEARLING ROAD DISTRICT

TABLE 1123.11.04A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	YEAR	
PUBLIC FACILITIES, INSTITUTIONS, AND TRANSPORTATION		
Passenger Transportation Agencies and Terminals.	N/A	
Day Care, Type A	N/A	
Day Care, Type B	N/A	
Day Care Center	SP	
Small-Scale Assembly	N/A	
Large-Scale Assembly	N/A	
Public Utility Rights-Of-Way and Pertinent Structures and Telecommunication Towers	N/A	
Solar Facilities	SP	
Educational Institution	P	
Governmentally Owned and/or Operated Buildings and Facilities	P	
MEDICAL		
Medical and Health Care Offices	P	
Urgent Care or Clinic	P	
Hospital	SP	

TABLE 1123.11.04A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	YEAR	
INDUSTRIAL		
Research and Development Facilities	SP	
Warehousing, Wholesaling and Transportation Services	N/A	
Storage/Mini Storage	N/A	
Maker Space	P	
Small Light Industrial	N/A	
Large Light Industrial	N/A	
Heavy Industrial	N/A	
Industrial, Commercial, or Construction Services	N/A	
Building Material Dealers and Sales	N/A	
Drilling or Extractive Activities	N/A	

Permitted Use	P
Special Permit Use	SP

1123.11.05 (CCD) COMMUNITY CROSSROADS DISTRICT



A INTENT

The Community Crossroads District is intended to create a high-density mixed-use area, that is highly walkable, and integrated into the regional transit system. New development on sites should be arranged around a grid pattern of streets, with parking located internal to sites to prioritize the pedestrian experience and quality urban form.

The Community Crossroads District is intended to be more of an urban, mixed-use zone or Transit oriented Development (TOD) that centers around a transportation hub or multi-modal transportation station and leverages the location along East Main Street. Height and massing of buildings can be substantial and utilize larger sites in the district to accommodate a variety of uses integrated vertically. Uses could include significant residential, office, restaurant, convenience retail and service. Creating an adaptable form regarding the scale and size of the development will reduce dependence on specific uses though focused long-term densification of the corridor. Redevelopment should incorporate open space through public squares, plazas, and other gathering places.

B PERMITTED BUILDING TYPES

The building types permitted in the CCD District are limited to the following, which shall be placed on lots with minimum dimensions sufficient to accommodate the minimum building type and setback dimensions. See Section 1123.11.06 (Building Typologies) for detailed design standards.

1. PERMITTED BUILDING TYPES	REFERENCE
Multi-Unit Complex	1123.11.06 (D)
Large Flex Retail Building	1123.11.06 (G)
Institutional Flex Building	1123.11.06 (H)
School and Institutional Building	1123.11.06 (J)
Office Building	1123.11.06 (M)
Office-Corporate Building	1123.11.06 (N)
Retail Large Format Building	1123.11.06 (O)
Assembly Use Building	1123.11.06 (R)

CORRIDOR ZONING DISTRICTS

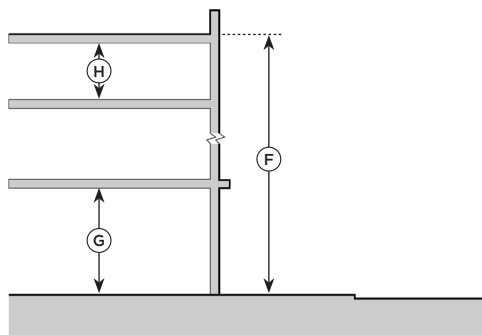
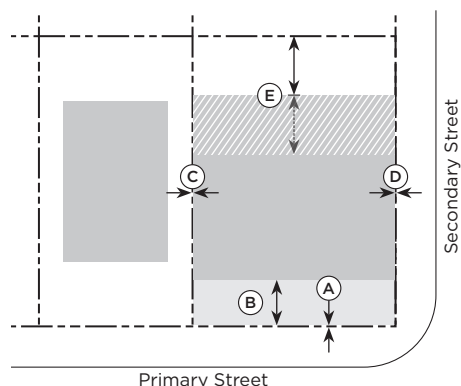
1123.11.05 (CCD) COMMUNITY CROSSROADS DISTRICT

Key for Diagrams

--- Lot Line

--- Setback Line

Buildable Area



C BUILDING PLACEMENT

1. SETBACK		
Front Yard (Min. Ft.)	0	(A)
Front Yard (Max. Ft.)	15	(B)
Side Yard (Min. Ft.)	0	(C)
Side Yard (Max. Ft.)	N/A	
Side Street, corner lot (Min. Ft.)	0	(D)
Rear Yard (Min. Ft.)	20; except when abutting a residential zone or use, then 40	(E)
2. LOT COVERAGE		
Lot Coverage	N/A	
Open Space (Min.) - Excluding paved areas	10%	
3. SITE		
Lot Frontage	N/A	
Size	N/A	
NOTES		
Buildings should generally have a zero foot setback. Consideration of larger setbacks should be based on the incorporation of public spaces, placement of adjacent buildings, and/or unique geometry.		
Buildings should be generally parallel to and facing the street, with an entrance door(s) connected to the public sidewalk.		
Buildings on corner lots should be oriented to the corner and to the street fronts		

D BUILDING FORM

Each proposed building in the CCD District shall comply with the following building form standards.

1. HEIGHT			
Max Stories	N/A	(F)	
Ground Floor (Min. Ft.)	18	(G)	
Upper Floors (Min. Ft.)	12	(H)	
2. REQUIRED FRONTAGE TYPE			
FRONTAGE TYPE	PRIMARY STREET	SECONDARY STREET	REFERENCE
Shopfront	Permitted	Permitted	1123.11.08 (A)
Patio	Permitted	Permitted	1123.11.08 (B)
Gallery	Permitted	Permitted	1123.11.08 (C)
Arcade	Permitted	Permitted	1123.11.08 (D)
NOTES			
Any buildings over 75' in width must be articulated with a demising line or designed to read as a series of buildings no wider than 75' each.			
No mechanical systems shall be visible from any street. Any building mechanical equipment must be fully shielded by shrubs, a wall, or a wood, metal or composite fence. No mechanical or utility equipment may be located within 40 feet of the front façade or corner. Unit exhaust and louvers are not permitted on facades; systems shall route through roof.			
Lighting shall be aimed downward at the building such that no light projects above the fixture. Building lighting should be mounted at 8 feet or higher.			
Ground level facades must have glazing on a minimum of 40% of all walls that face primary or secondary streets. Where there is a residential use on the first floor, windows shall comprise no less than 20% of the first floor façade.			

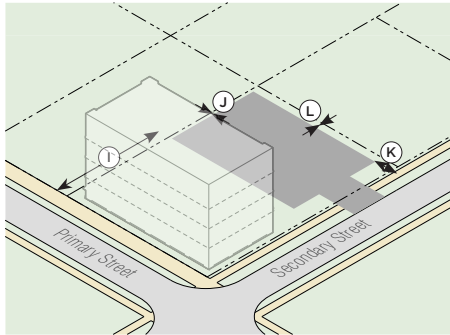
1123.11.05 (CCD) COMMUNITY CROSSROADS DISTRICT

Key for Diagrams

- - - - Lot Line

- - - - Setback Line

Buildable Area



E PARKING PLACEMENT

Off-street parking shall be located in compliance with the following setback standards.

1. LOCATION (DISTANCE FROM PROPERTY LINE)		
Front Setback (Min. Ft.)	25	(I)
Side Setback	Equal or greater to the distance of building to side lot line.	(J)
Side Street Setback (Min. Ft.)	15	(K)
Rear Setback (Min. Ft.)	5	(L)
2. PARKING LOCATION		
Rear Yard		
3. PARKING DESIGN		
For any limited parking areas adjacent to a primary right-of way, full screening is required with an integrated architectural feature or a combination of solid wall and landscaping.		
Parking along a secondary right-of way or alley should be screened by a combination of a wall, fence and landscaping.		

F SIGNAGE

The signage types permitted in the CCD District are limited to the following in the table below. See Section 1123.11.09 (Sign Types) for detailed standards.

1. PERMITTED SIGN TYPES	REFERENCE
Flat Wall Signs	1123.11.09 (A)
Projecting Signs	1123.11.09 (B)
Marquee Sign	1123.11.09 (D)
Roof Sign	1123.11.09 (E)
Window and Door Sign	1123.11.09 (F)

G PERMITTED OPEN SPACE TYPES

The open space types permitted in the CCD District are limited to the following, which shall be placed on lots with minimum dimensions sufficient to accommodate the minimum open space type and setback dimensions. See Section 1123.11.07 Open Space Typologies) for detailed standards.

1. PERMITTED OPEN SPACE TYPES	REFERENCE
Greenway / Trail	1123.11.07 (A)
Plaza	1123.11.07 (B)
Square	1123.11.07 (C)
Green	1123.11.07 (D)
Passage	1123.11.07 (E)
Pocket Plaza	1123.11.07 (F)
Green Infrastructure	1123.11.07 (H)

2. STREETSCAPE

Development shall connect to the public sidewalk, bikeway network, adjacent parks, and multi-use trail network. Sidewalks shall be provided as part of new development at a minimum of 10' in width on primary streets and 6' in width on secondary streets. In instances where there are documented, practical challenges to providing the sidewalk based on the site configuration, or there is an existing sidewalk meeting the standards, an administrative waiver may be granted to provide relief from this provision.

Street trees shall be provided as part of all new developments. One street tree must be planted for every 40 lineal feet of frontage along a primary or secondary street. In instances where there are documented, practical challenges to providing the street trees based on the site configuration, an administrative waiver may be granted to provide relief from street tree provision.

H PERMITTED LAND USES AND PERMIT REQUIREMENTS

Land uses in the following table are defined in Section 1123.11.10 (Use Definitions).

TABLE 1123.11.05A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	CCD	
Accessory Uses (Any use permitted within the district shall be permitted as an accessory use so long as it is subordinate to the primary use in total GFA devoted to the accessory use)	P	
Parks and Trails	P	
RESIDENTIAL		
Dwelling, Single-Unit, Detached	N/A	
Dwelling, Two-Unit	N/A	
Dwelling, Single-Unit, Attached	N/A	
Dwelling, Three- and Four-Unit	N/A	
Dwelling, Multi-Unit (Four to Twelve Dwelling Units)	P	
Dwelling, Multi-Unit (> Twelve Dwelling Units)	P	
Group Care Facility	N/A	
Group Home	N/A	
Nursing Home	N/A	
Personal Care Boarding Home	N/A	
Senior Independent Living Facility	N/A	
Senior Assisted Living Facility	N/A	
Skilled Care Facility	SP	
Transitional Dwelling	SP	

Permitted Use	P
Special Permit Use	SP

1123.11.05 (CCD) COMMUNITY CROSSROADS DISTRICT

TABLE 1123.11.05A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	CCD	
COMMERCIAL		
Personal Service	P	
Retail Sales < 5,000 sf	P	
Retail Sales 5,000 sf to 25,000 sf	P	
Retail Sales >25,000 sf	SP	
Commercial Retail Sales and Services	P	
Business and Professional Offices	P	
Organizations and associations organized on a profit or non-profit basis for promotion of membership interests.	P	
Drive-In Windows and Drive-Through Facilities	N/A	
Eating and Drinking Establishments	P	
Off-Street Public Parking Lots and Garages	SP	
Nursery and Garden Supply Stores	N/A	
Instructional Spaces and Studios	P	
Gyms and Physical Fitness Facilities	P	
Gasoline Stations	N/A	
New and Used Dealers In Motorcycle, Motorized Bicycle and Tricycle and Not Including Motor Homes, Snowmobiles and Their Parts and Accessories and Including Repair Services Thereto.	N/A	

TABLE 1123.11.05A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	CCD	
COMMERCIAL		
Recreational Vehicle Sales	N/A	
Hotels, Motels or Tourist Houses	SP	
Vehicle and Large Equipment Repair	N/A	
Car Wash Establishments	N/A	
Funeral Home and Services, Excluding Crematories	N/A	
Crematories	N/A	
Sexually oriented Business	N/A	
Commercial Outdoor Recreation	N/A	
Commercial Indoor Recreation	N/A	
Veterinary offices and animal hospitals, not including facilities for outside boarding or exercising of animals.	N/A	
Non-Industrial Food Production and Catering	P	
Brewery or Distillery	N/A	
Micro-Brewery or Micro-Distillery	P	
Food/Takeout Stall	SP	

Permitted Use	P
Special Permit Use	SP

CORRIDOR ZONING DISTRICTS

1123.11.05 (CCD) COMMUNITY CROSSROADS DISTRICT

TABLE 1123.11.05A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	CCD	
PUBLIC FACILITIES, INSTITUTIONS, AND TRANSPORTATION		
Passenger Transportation Agencies and Terminals	SP	
Day Care, Type A	N/A	
Day Care, Type B	N/A	
Day Care Center	SP	
Small-Scale Assembly	N/A	
Large-Scale Assembly	N/A	
Public Utility Rights-Of-Way and Pertinent Structures and Telecommunication Towers	N/A	
Solar Facilities	SP	
Educational Institution	SP	
Governmentally Owned and/or Operated Buildings and Facilities	P	
MEDICAL		
Medical and Health Care Offices	P	
Urgent Care or Clinic	P	
Hospital	SP	

TABLE 1123.11.05A: PERMITTED LAND USES & PERMIT REQUIREMENTS		
LAND USE TYPE	PERMIT REQUIRED BY ZONE	SPECIFIC USE REGULATIONS
	CCD	
INDUSTRIAL		
Research and Development Facilities	SP	
Warehousing, Wholesaling and Transportation Services	N/A	
Storage/Mini Storage	N/A	
Maker Space	P	
Small Light Industrial	N/A	
Large Light Industrial	N/A	
Heavy Industrial	N/A	
Industrial, Commercial, or Construction Services	N/A	
Building Material Dealers and Sales	N/A	
Drilling or Extractive Activities	N/A	

Permitted Use	P
Special Permit Use	SP

SECTION 1123.11.06 BUILDING TYPOLOGIES

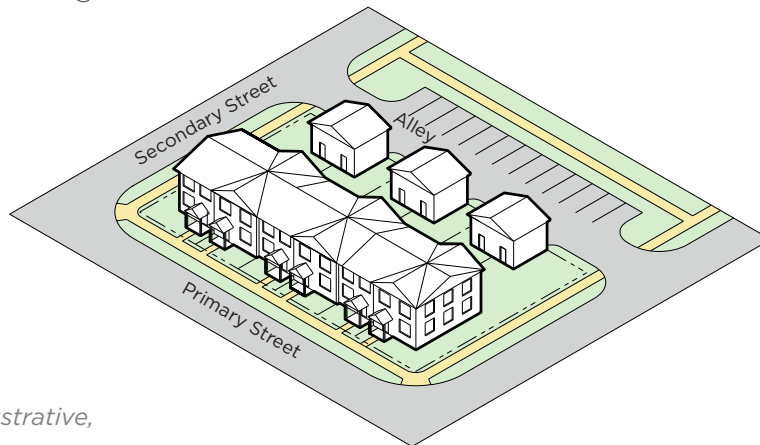
The below-listed building typologies are contemplated for new development in the districts and zones described below.

BUILDING TYPOLOGIES	BROAD STREET DISTRICT (BRD)	MAIN STREET DISTRICT (MAIN)	SOUTH HAMILTON DISTRICT (SD)	YEARLING ROAD DISTRICT (YEAR)	COMMUNITY CROSSROADS DISTRICT (CCD)
Attached Single-Family Building		●		●	
Duplex Building				●	
Multi-Unit Building	●	●		●	
Multi-Unit Complex	●	●	●	●	●
Small Flex Retail Building	●	●	●	●	
Medium Flex Retail Building	●	●	●	●	
Large Flex Retail Building	●	●	●	●	●
Institutional Flex Building	●	●	●	●	●
Primary School Building		●		●	
School and Institutional Building	●	●	●	●	●
Bed and Breakfast Building		●		●	
Community Center Building	●	●	●	●	
Office Building	●	●	●	●	●
Office-Corporate Building	●	●	●	●	●
Retail Large Format Building	●	●	●		
Industrial Building					
Warehouse Building					
Assembly Use Building	●	●	●	●	●
Maker Space or Live-Work Units	●		●		

A. ATTACHED SINGLE-FAMILY BUILDING

The below illustrations of each development typology are for illustrative purposes only and are intended to supplement the regulations applicable to each zone and district.

1. Typical Lot Configuration



Note: image is illustrative, not regulatory.

2. Description

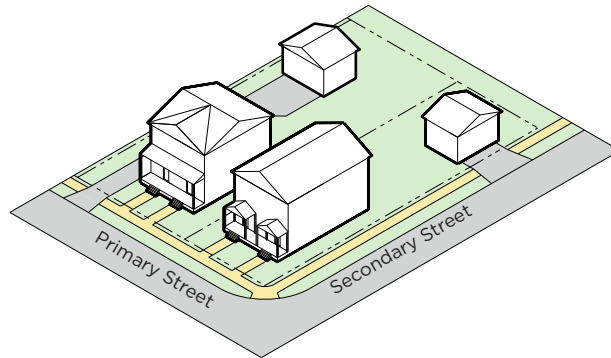
A structure with common walls on either side and no units below or above. Garage access is typically from a rear alley or shared parking area. A small side or rear yard is provided for each unit as private open space.



Image: Attached Single-Family Building

B. DUPLEX BUILDING

1. Typical Lot Configuration



Note: image is illustrative, not regulatory.

2. Description

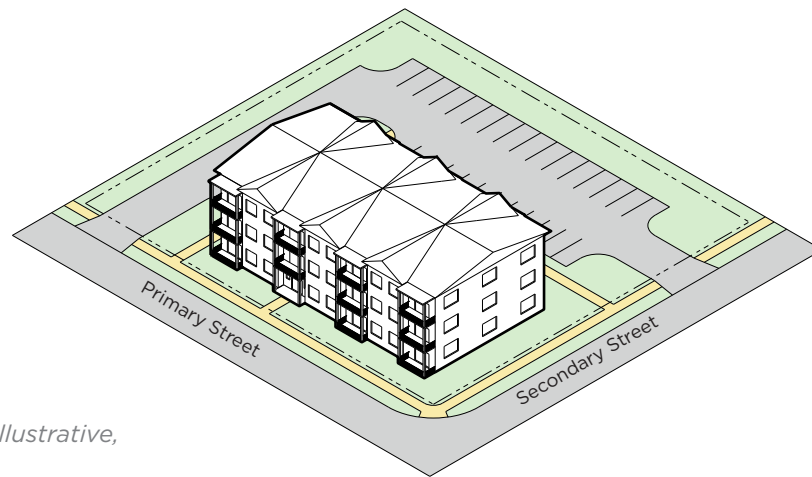
A detached structure with two units that is massed as a single structure. Setbacks can range from small to large and units are typically side-by-side, but may be stacked.



Image: Duplex Building

C. MULTI-UNIT BUILDING

1. Typical Lot Configuration



*Note: image is illustrative,
not regulatory.*

2. Description

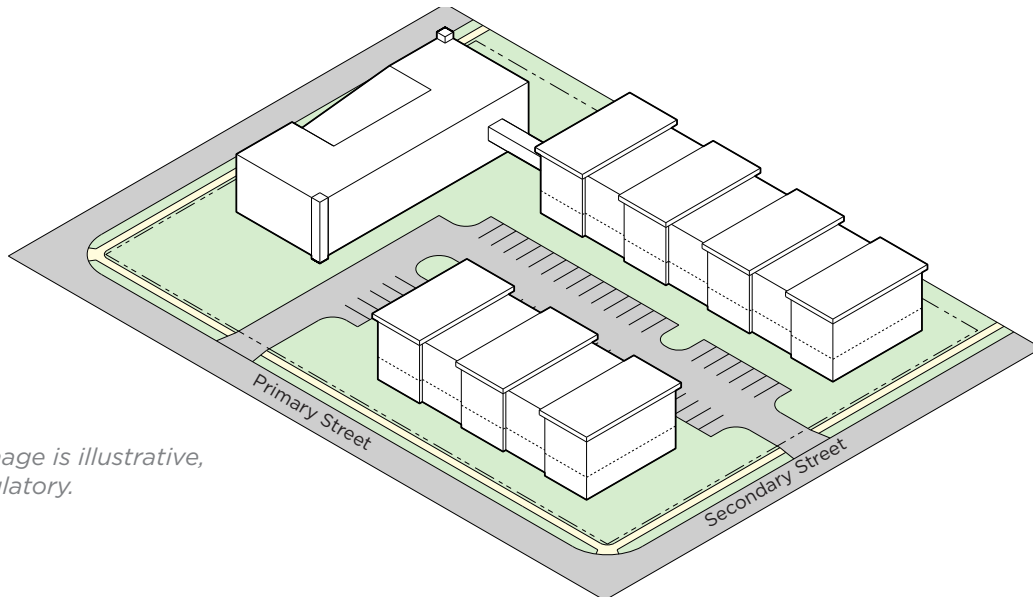
A building with multiple residential units that front on an interior corridor and have their main access from the primary street. Units can be next to each other (side-by-side units), or stacked on top of each other (top and bottom units).



Image: Multi-Unit Building

D. MULTI-UNIT COMPLEX

1. Typical Lot Configuration



*Note: image is illustrative,
not regulatory.*

2. Description

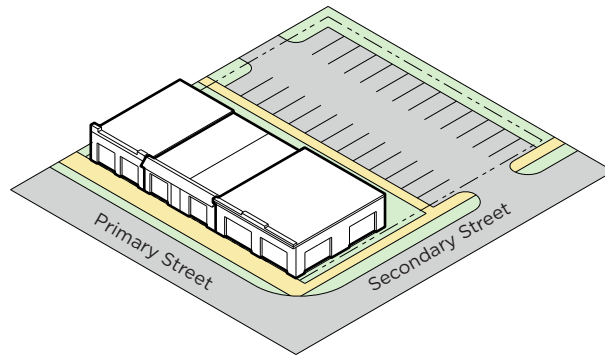
A collection of multi-unit buildings on adjoining pieces of land, generally owned by one entity. The buildings often share common grounds and amenities, such as pools, parking areas, and a community clubhouse, used as leasing offices for the community.



Image: Multi-Unit Complex Building

E. SMALL FLEX RETAIL BUILDING

1. Typical Lot Configuration



*Note: image is illustrative,
not regulatory.*

2. Description

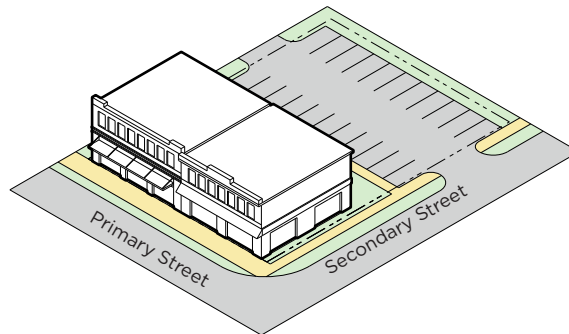
Consists of attached or detached structures ranging from one to three stories. Structures can include single or mixed uses. Parking is located in the rear or side of the building and typically accessed from a rear alley when possible.



Image: Small Flex Retail Building

F. MEDIUM FLEX RETAIL BUILDING

1. Typical Lot Configuration



Note: image is illustrative, not regulatory.

2. Description

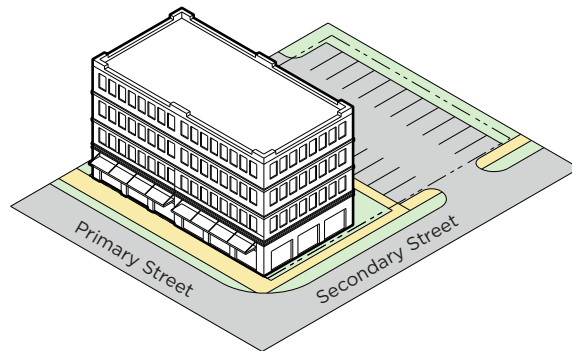
Consists of attached or detached structures ranging from one to three stories. Structures can include single or mixed uses. Parking is located in the rear or side of the building and typically accessed from a rear alley when possible.



Image: Medium Flex Retail Building

G. LARGE FLEX RETAIL BUILDING

1. Typical Lot Configuration



*Note: image is illustrative,
not regulatory.*

2. Description

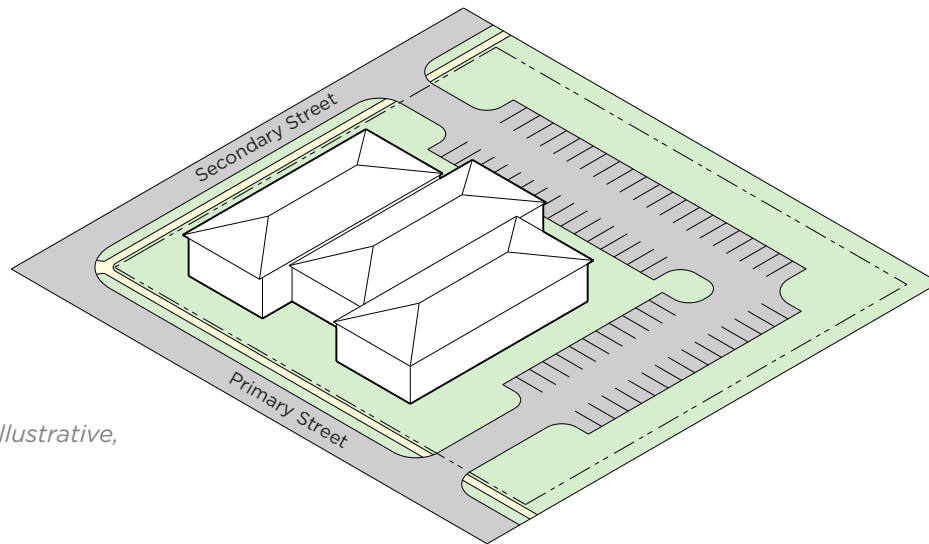
Consists of attached or detached structures that can include single or mixed-uses. Parking is located in the rear of the building and, where possible, accessed from a rear alley.



Image: Large Flex Retail Building

H. INSTITUTIONAL FLEX BUILDING

1. Typical Lot Configuration



Note: image is illustrative, not regulatory.

2. Description

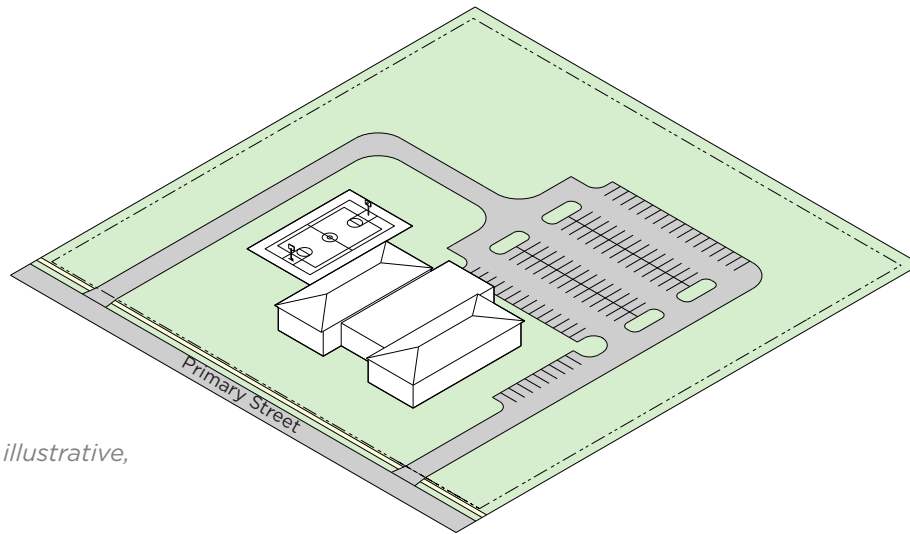
A building that can house uses of an institutional nature (i.e. government building, library, post office, etc.) with parking on the same lot and the main access from the primary street.



Image: Institutional Flex Building

I. PRIMARY SCHOOL BUILDING

1. Typical Lot Configuration



Note: image is illustrative, not regulatory.

2. Description

A building designed to provide learning spaces and learning environments for the teaching of students from about four to eleven years old under the direction of teachers. The building has limited parking for staff and includes both outdoor and indoor recreational activity.

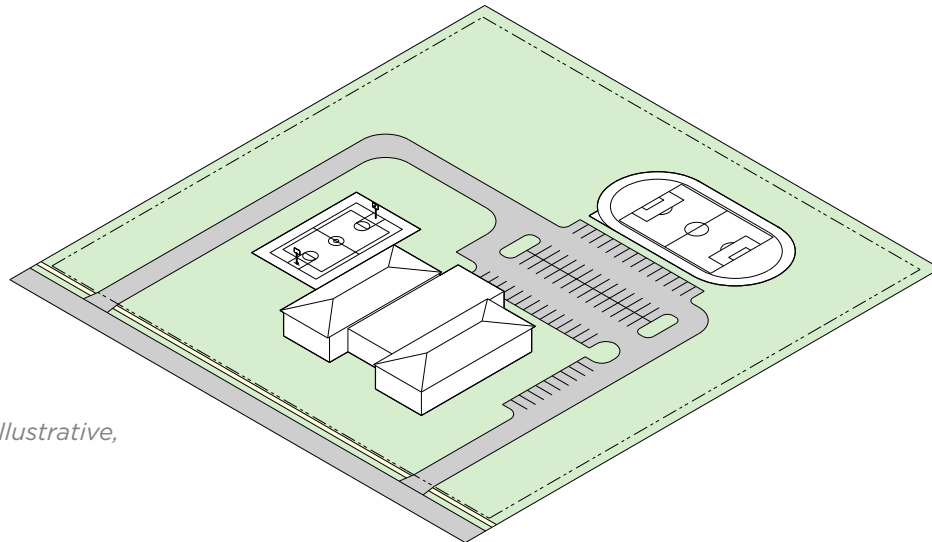


Image: Primary School Building



J. SCHOOL AND INSTITUTIONAL BUILDING

1. Typical Lot Configuration



Note: image is illustrative, not regulatory.

2. Description

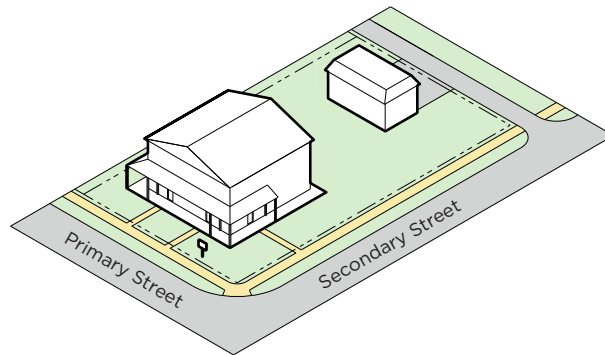
An institution or place for instruction or education, which typically includes athletic fields and/or related assembly space and associated on-site parking. This will often be a junior high school or high school, but could be a larger elementary school that includes additional facilities.



Image: School and Institutional Building

K. BED AND BREAKFAST BUILDING

1. Typical Lot Configuration



*Note: image is illustrative,
not regulatory.*

2. Description

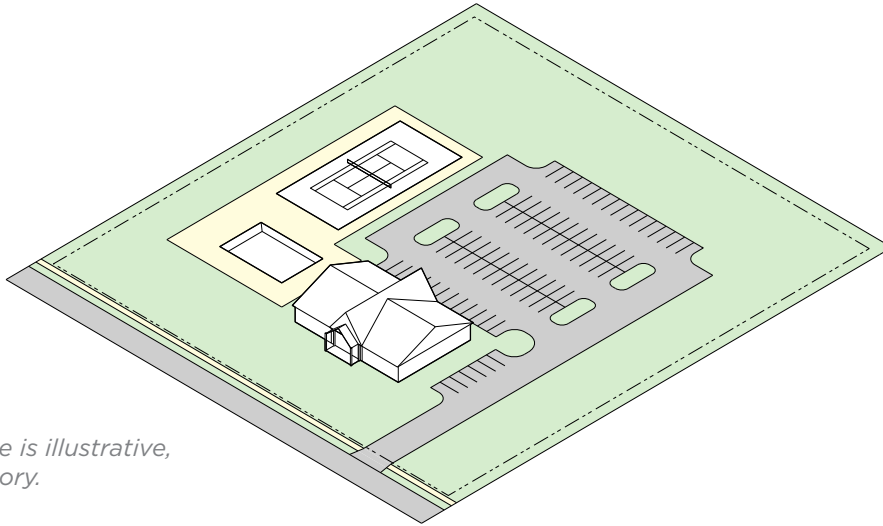
A residential structure providing limited overnight lodging and meals for guests.



Image: Bed and Breakfast Building

L. COMMUNITY CENTER BUILDING

1. Typical Lot Configuration



Note: image is illustrative, not regulatory.

2. Description

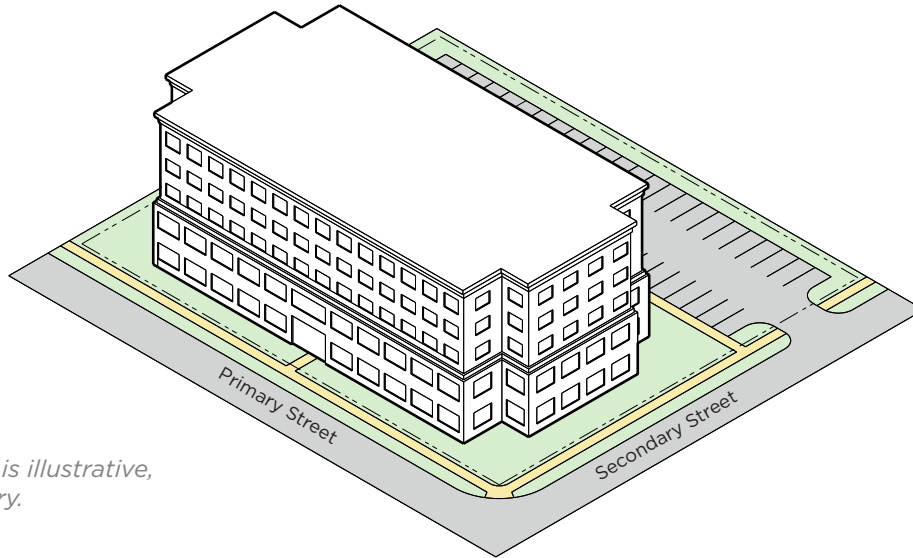
Usually a public building where members of a community tend to gather for group activities, social support, public information, and other purposes. It can be open for the whole community or specialized groups (e.g. senior center) and can include both indoor and outdoor recreational facilities.



Image: Community Center Building

M. OFFICE BUILDING

1. Typical Lot Configuration



*Note: image is illustrative,
not regulatory.*

2. Description

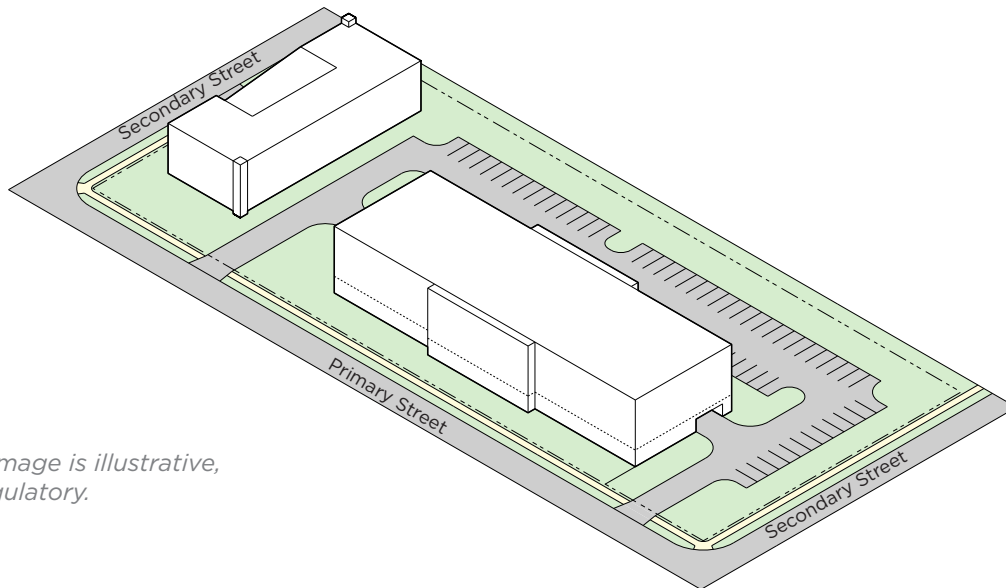
A building used primarily for conducting the affairs of multiple business, professional, service, industry, government, or like activity, which may include ancillary services for office workers with parking typically found on the same lot and the main access form the primary street.



Image: Office Building

N. OFFICE-CORPORATE BUILDING

1. Typical Lot Configuration



Note: image is illustrative, not regulatory.

2. Description

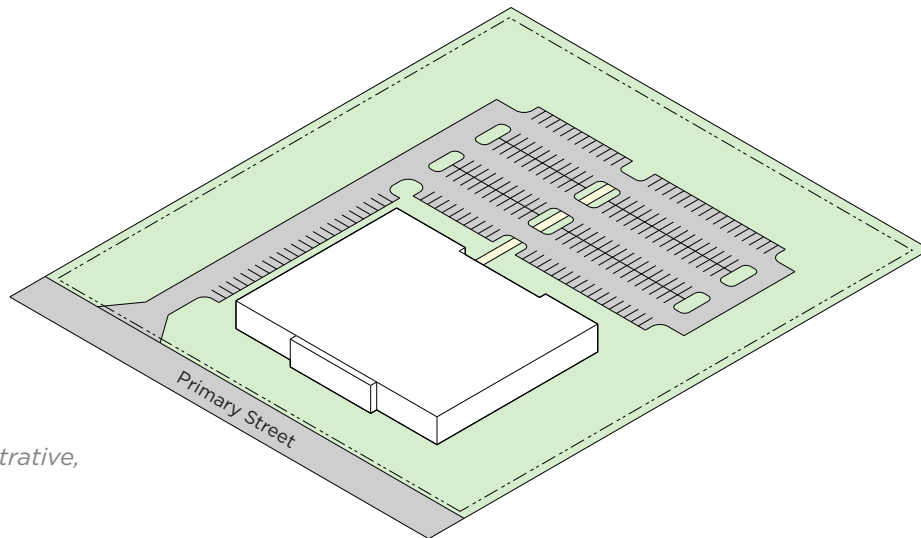
A building used primarily for conducting the affairs of a single business, professional, service, industry, government, or like activity, which may include ancillary services for office workers with parking typically found on the same lot and the main access form the primary street.



Image: Office-Corporate Building

O. RETAIL LARGE FORMAT BUILDING

1. Typical Lot Configuration



*Note: image is illustrative,
not regulatory.*

2. Description

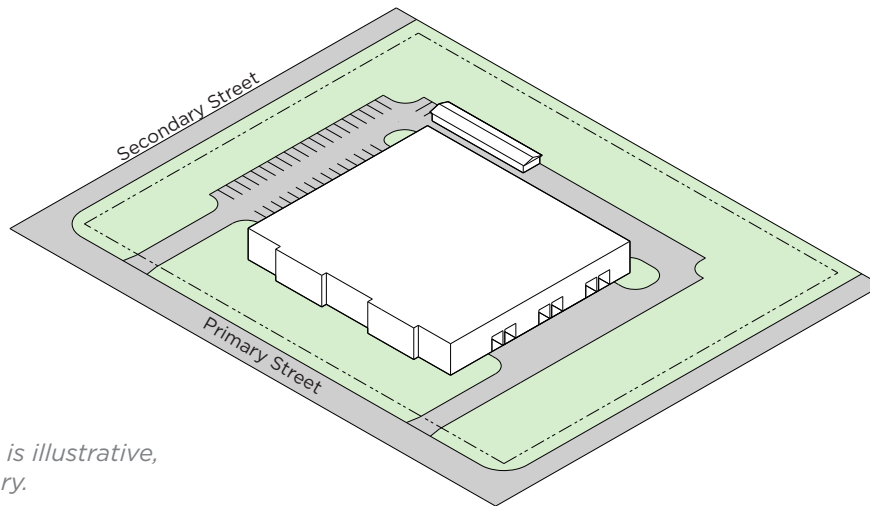
A single-use, typically large single-story commercial building primarily accessed by automobile with parking on the same lot with a combination of parking in the front, side, or rear yards.



Image: Retail Large Format Building

P. INDUSTRIAL BUILDING

1. Typical Lot Configuration



Note: image is illustrative, not regulatory.

2. Description

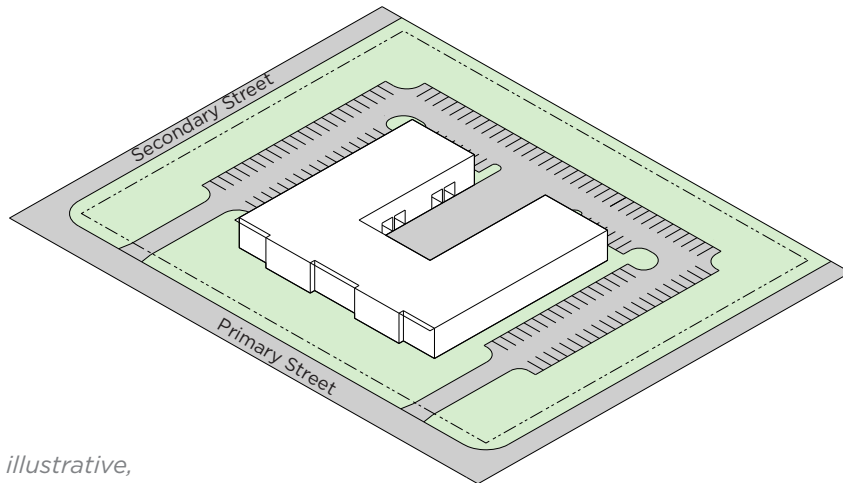
A building that houses manufacturing activity that uses moderate amounts of partially processed materials to produce items of relatively high value per unit weight. Facilities for loading and unloading are typically located in the side or rear yard with employee and visitor parking in the rear yard.



Image: Industrial Building

Q. WAREHOUSE BUILDING

1. Typical Lot Configuration



*Note: image is illustrative,
not regulatory.*

2. Description

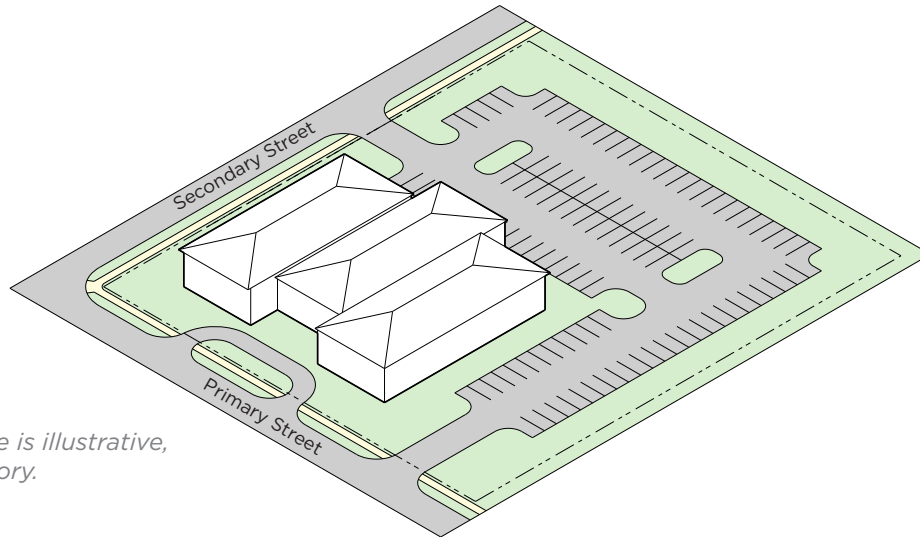
A building for storing goods with facilities for loading and unloading that are typically located in the side or rear yard with employee and visitor parking in the rear yard.



Image: Warehouse Building

R. ASSEMBLY USE BUILDING

1. Typical Lot Configuration



Note: image is illustrative, not regulatory.

2. Description

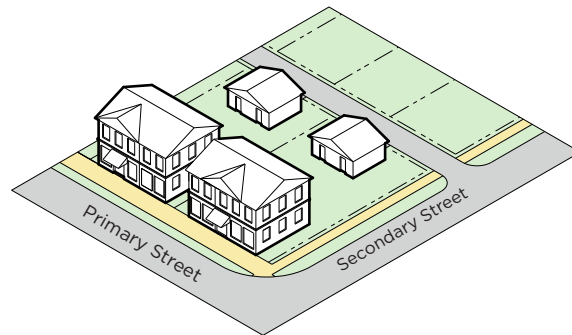
A building designed to house special events, including weddings, private parties, receptions, and other assembly uses.



Image: Assembly Use Building

S. MAKER SPACE OR LIVE-WORK UNITS

1. Typical Lot Configuration



*Note: image is illustrative,
not regulatory.*

2. Description

An attached building type which provides flexible space at the street level for a collaborative workspace, small scale retail or office, with a complete living unit above. The combination of these uses and building form lend well to serving as a transition between commercial or mixed-use areas and residential neighborhoods.



Image: Maker Space or Live-Work Units

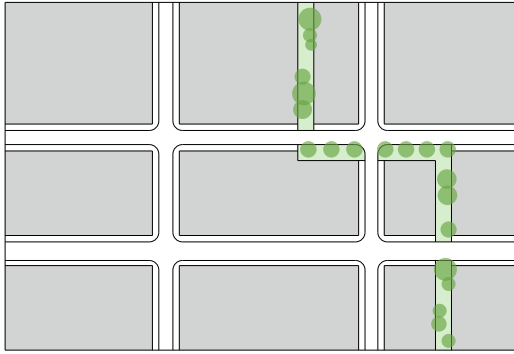
SECTION 1123.11.07 OPEN SPACE TYPOLOGIES

The following Open Space Typologies cover land that is intended to be undeveloped within the following districts.

OPEN SPACE TYPOLOGIES	BROAD STREET DISTRICT (BRD)	MAIN STREET DISTRICT (MAIN)	SOUTH HAMILTON DISTRICT (SD)	YEARLING ROAD DISTRICT (YEAR)	COMMUNITY CROSSROADS DISTRICT (CCD)
Greenway/Trail	•	•	•		•
Plaza	•	•	•	•	•
Square	•	•	•	•	•
Green	•	•	•	•	•
Passage	•	•	•	•	•
Pocket Plaza	•	•	•	•	•
Sport Field				•	
Green Infrastructure	•	•	•	•	•

A. GREENWAY / TRAIL

1. Typical Lot Configuration

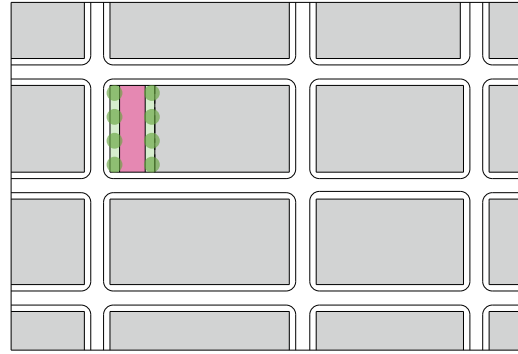


2. Description

Greenways are primarily linear open spaces that connect other types of open spaces as part of a larger open space system. They typically include a path or trail as a primary feature. The greenway and trail open space is most effective when connecting to another open space type.

B. PLAZA

1. Typical Lot Configuration

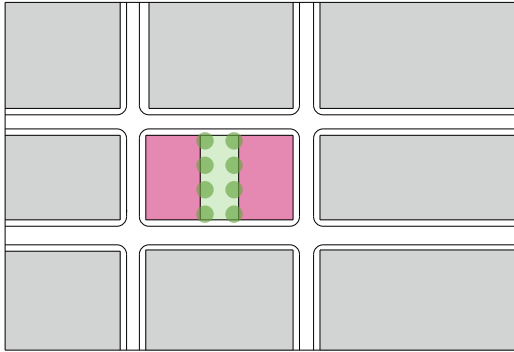


2. Description

Plazas are spaces available for civic purposes and commercial activities intended to add to the vibrancy of streets and neighborhoods. Building frontages typically define the edges of these spaces. The landscape consists of primarily hardscape. If trees are included, they are formally arranged and of appropriate scale to the space.

C. SQUARE

1. Typical Lot Configuration

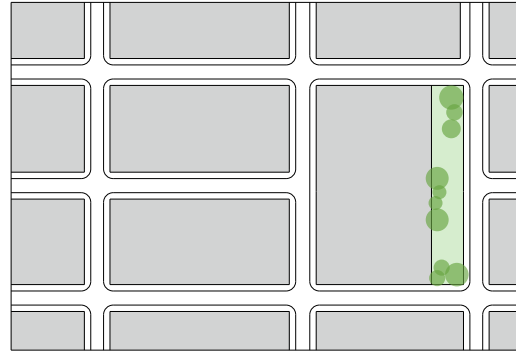


2. Description

Squares are medium scale formal open spaces designed to serve as gathering spaces in prominent commercial, civic and mixed-use settings. Squares are typically rectilinear and framed on all sides by streets. They are typically designed with a combination of both hardscape and landscape areas and contain amenities including, but not limited to benches and seating areas, planting areas, walking paths, gazebos or pavilions, fountains, and public art.

D. GREEN

1. Typical Lot Configuration

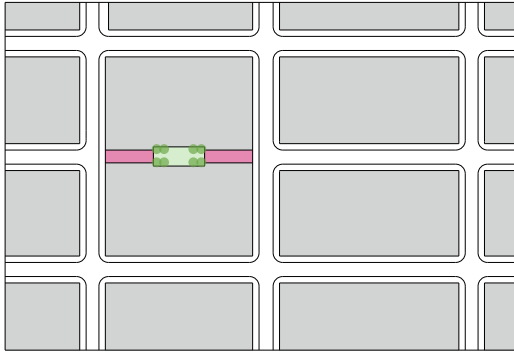


2. Description

Greens are medium-scale, informal open spaces designed to provide for active or passive recreation in neighborhood settings, including some landscape areas and is generally for those who live within walking distance.

E. PASSAGE

1. Typical Lot Configuration

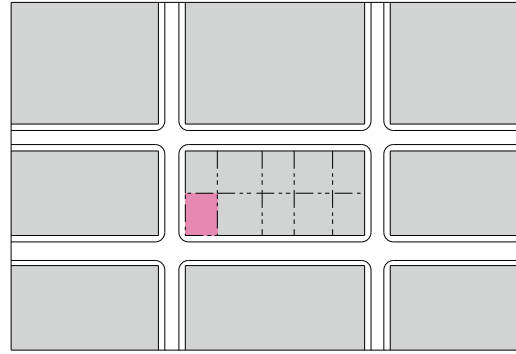


2. Description

A passage is an informal or formal gathering space that serves equally as a pedestrian connector between other gathering places or between streetscapes. Passages are near the middle of a block, providing easy walking access through the block. A passage provides additional frontage opportunities for the shops and/or houses along its edges.

F. POCKET PLAZA

1. Typical Lot Configuration

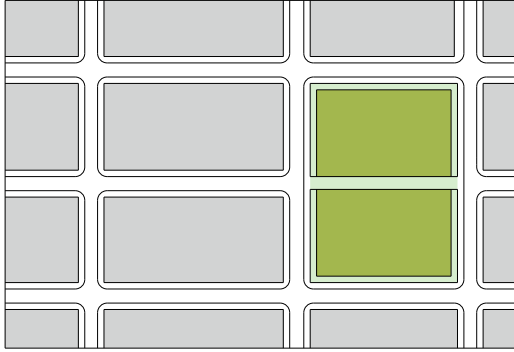


2. Description

Pocket plazas are small-scale, primarily hardscaped open spaces designed to provide opportunities for impromptu gathering and resting areas for passersby and for those who live or work in adjacent buildings or nearby destinations. Pocket plazas are typically designed as an extension from the public sidewalk, but clearly delineated as a separate space using features including, but not limited to landscaping and/or seating walls. Pocket Plazas are typically located along highly trafficked streets and in commercial areas with frequent pedestrian activity.

G. SPORT FIELD

1. Typical Lot Configuration

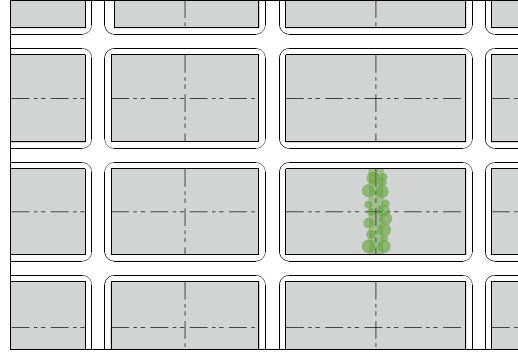


2. Description

A Sports Field typology is a space or series of open spaces designed for sports activities. Sports fields often accommodate several individual sports games at the same time and may feature a concession area and seating for spectators. Due to the larger amounts of people attracted to this type, sports fields are located to maintain compatibility with adjacent neighborhoods. Landscaping may be required as deemed appropriate by the Review Authority.

H. GREEN INFRASTRUCTURE

1. Typical Lot Configuration



2. Description

Green infrastructure, in the form of Bioswales are linear, vegetated ditches which allow for the collection, conveyance, filtration and infiltration of stormwater. They can also be referred to as “grass swales,” “vegetated swales,” or “filter strips.” A bioswale replaces the traditional concrete gutter with an earthen one. Because they behave like a gutter, these trenches are best suited along roadsides or parking lots, but are less practical for dealing with stormwater that falls on rooftops.

1123 Corridor Zoning Districts

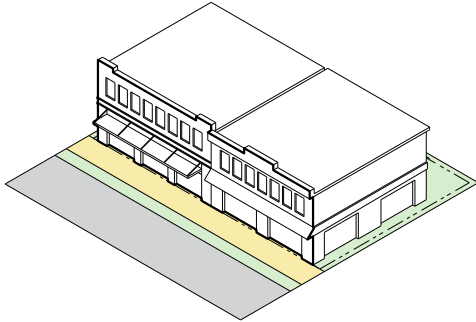
SECTION 1123.11.08 FRONTAGE TYPOLOGIES

The following Frontage Typologies cover the area between the building façade and the front lot line or right-of-way and intended to ensure projects that establish or reinforce the appropriate frontage character within the following districts.

FRONTAGE TYPOLOGIES	BROAD STREET DISTRICT (BRD)	MAIN STREET DISTRICT (MAIN)	SOUTH HAMILTON DISTRICT (SD)	YEARLING ROAD DISTRICT (YEAR)	COMMUNITY CROSSROADS DISTRICT (CCD)
Shopfront	•	•	•	•	•
Patio	•	•	•	•	•
Gallery					•
Arcade					•
Yard	•	•	•	•	
Terrace	•	•	•	•	
Forecourt	•	•	•	•	
Streetwall	•	•	•	•	

A. SHOPFRONT

1. Typical Lot Configuration

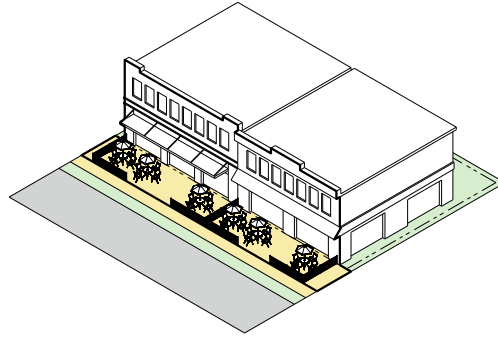


2. Description

The shopfront is a traditional ground floor frontage treatment designed for active commercial uses (typically retail and dining) and a high degree of pedestrian activity between the public sidewalk and commercial spaces. A shopfront treatment includes one or more commercial tenant storefronts consisting of large windows and a direct tenant entrance from the sidewalk, typically at sidewalk grade. Storefront characteristics typically include prominent entrances, primarily composed of glass, and tenant signage. If not located in a zero lot line condition (immediately behind the sidewalk), the intervening front setback may be paved as an extension of the sidewalk streetscape to the building façade. All or portions of the setback may be designated for use as outdoor seating or dining/bar space. The setback may also include landscaping, either at grade with the sidewalk along the building foundation, or in raised beds or planters.

B. PATIO

1. Typical Lot Configuration

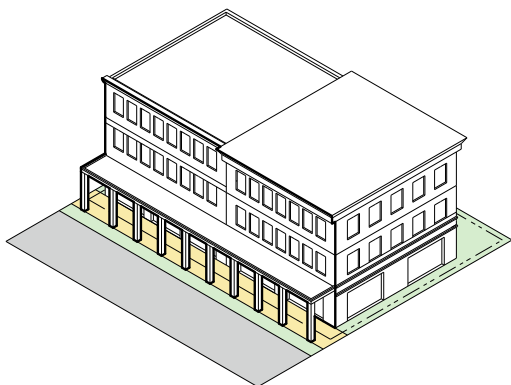


2. Description

The patio frontage is used primarily to provide outdoor seating associated with ground floor dining uses within a building. The patio is a hardscaped area that may be located to the front or side of a building between the building and sidewalk.

C. GALLERY

1. Typical Lot Configuration

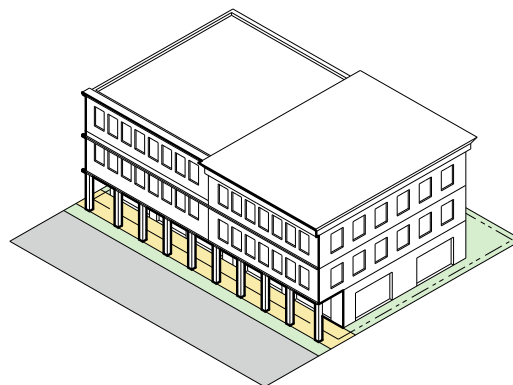


2. Description

The main facade of the building is at the frontage line and the gallery element overlaps the sidewalk. This frontage type is intended for buildings with ground-floor commercial or retail uses and may be one or two stories. The gallery must extend close enough to the curb so that a pedestrian cannot bypass it. Due to the overlap of the right-of-way, an easement is usually required.

D. ARCADE

1. Typical Lot Configuration

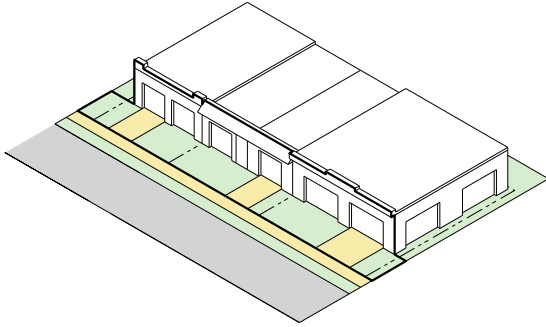


2. Description

An arcade is a frontage type featuring a pedestrian walkway covered by the upper floors of a building. The ground story facade is setback and upper floors are supported by a colonnade or supports.

E. YARD

1. Typical Lot Configuration

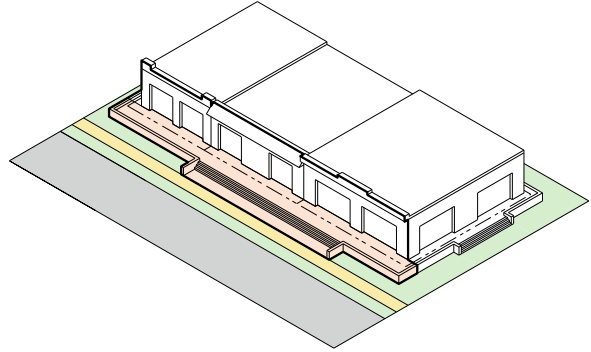


2. Description

The yard is a typical landscape setback which may consist of open lawn, landscape beds, or some combination of the two. It may contain hardscape elements as a secondary feature and may be edged by a low fence or masonry wall. Yards are typically at the same or similar grade as the adjacent sidewalk and include a front walk connecting the public sidewalk to the main entrance of a building (see Raised Yard as a variation). This is the common frontage treatment for houses and other neighborhood-scale residential buildings, and is typically combined with other a porch or stoop building frontage. A yard may also be used for flex building types designed for any combination of uses.

F. TERRACE

1. Typical Lot Configuration

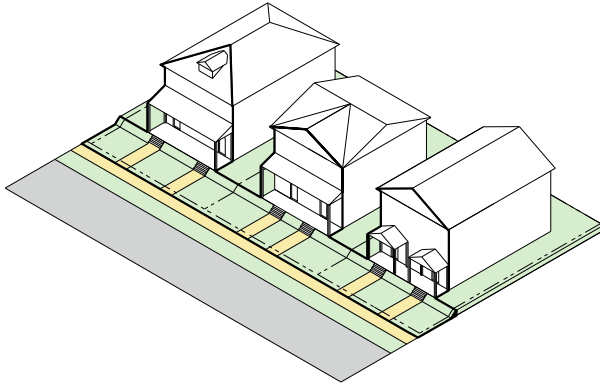


2. Description

In the Terrace Frontage Type, the main facade is at or near the property line with an elevated terrace providing public circulation along the facade. This Type can be used to provide at-grade access while accommodating a grade change and is frequently used together with a shopfront. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. A terrace treatment differs from the Raised Yard Frontage type in that the building is typically located closer to the sidewalk and the terraced setback is architecturally integrated with the building façade, consisting of more hardscape materials. Raised planters may be incorporated as part of a terrace frontage.

G. FORECOURT

1. Typical Lot Configuration

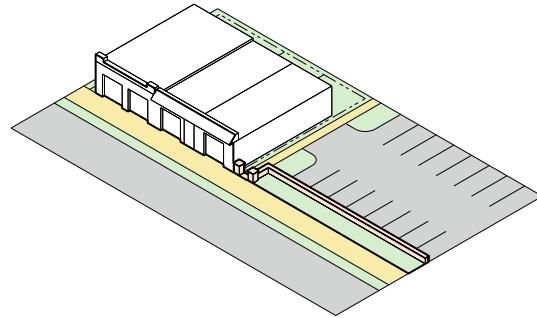


2. Description

The forecourt frontage treatment allows for a portion of a building façade to be set farther back from the street, creating a courtyard condition with street frontage. A forecourt condition may also be created through the composition of three separate buildings, oriented with the central building setback farther from the others. A forecourt may include open access to the public sidewalk with one or more entrances into the building, or may be fenced and elevated as a semi-private space, partially visible from the public realm. The forecourt area typically includes a combination of landscape and hardscape treatments, and may include outdoor amenities and seating areas associated with the building(s).

H. STREETWALL

1. Typical Lot Configuration



2. Description

The streetwall frontage is used to create a continuous and defined edge along parking lots where located in close proximity to a street and sidewalk. Streetwalls are typically low (at or below waist height of a passing pedestrian) and may be composed entirely of masonry, a combination of decorative metal fencing with masonry columns, raised planters, a landscape hedge treatment, or some combination of these. Masonry street walls are typically designed to coordinate with the principal building architecture and often are physically connected to the building façade. Street walls may be interrupted with a pedestrian walk connection to the public sidewalk. For new projects or redevelopment, street walls are intended for use along any portion of lot frontage in which side or rear parking is located adjacent to or near the public sidewalk, but are secondary to other frontage types associated with the principal building and should not dominate the entire lot frontage. Streetwalls are also an effective design approach to improve existing auto-oriented sites for which all or substantial portions of a primary frontage consist of parking.

SECTION 1123.11.09 SIGN TYPES

SIGN TYPES	BROAD STREET DISTRICT (BRD)	MAIN STREET DISTRICT (MAIN)	SOUTH HAMILTON DISTRICT (SD)	YEARLING ROAD DISTRICT (YEAR)	COMMUNITY CROSSROADS DISTRICT (CCD)
Flat Wall Signs	●	●	●	●	●
Free-Standing Signs	●	●	●		
Projecting Signs	●	●	●	●	●
Marquee Sign	●	●	●	●	●
Window and Door Sign	●	●	●	●	●
Roof Sign	●	●			●

1. Size. The total area of all signs erected on the lot and building of any single business shall be within the allowable square footage as follows:

- a. **Building Signs.** The total sign area on the building for any single business shall not exceed one (1) square foot for each lineal foot of building frontage. If the building setback is greater than seventy feet, an additional half (0.5) of a square foot of building sign shall be allowed for each lineal foot of building frontage.
- b. **Free-Standing Signs.** The total sign area of free-standing signs on any single property shall not exceed:
 - i. One-half square foot per lineal feet of building frontage or one-fourth square foot per lot front foot, whichever is greater; or
 - ii. If the building setback is greater than seventy feet, three-fourths of a square foot per lineal foot of building frontage or three-eighths of a square foot per lot front foot, whichever is greater.

c. **Double Frontage.** In districts where a free-standing sign is permitted, if a property has a second street-facing frontage, one additional freestanding sign shall be permitted.

2. Height. No free-standing sign shall exceed eight (10) feet in height.

3. Location.

- a. **Flat wall signs.** Flat wall signs may be located on the front wall of a building, or when properties have a secondary street frontage, a flat wall sign may be allowed on the side wall on the secondary frontage. No flat wall sign shall extend above the roof line. Other requirements are specified in Section 1127.10.
- b. **Projecting signs.** Projecting signs may be located only on the front wall of the building, except in the case of a second frontage allowance. No projecting sign or supporting structure shall project more than forty-two inches from the wall of a building nor be less than ten feet from the ground level at the base of the building nor higher than twenty-five feet from the ground level to the top of the sign on a multi-story building. Every

face of a projecting sign shall be considered as a separate sign for purposes of computing the allowable area. No projecting sign or supporting structure shall extend above the roof line and no part shall be supported from an unbraced parapet wall.

- c. Free-Standing Signs. All parts of a free-standing sign shall be located five feet or more behind the front property line and elsewhere within building restriction lines as provided for by the Zoning Code and no closer than fifty feet to a residential district.
- d. Marquee signs. Signs may be placed on a marquee or may project below the lower edge of a marquee not more than twenty-four inches, but the bottom of a sign placed on a marquee shall be no less than eight feet above the sidewalk or grade at any point. No part of the sign shall project above the roof line of the building.
- e. Roof signs. In districts where roof signs are permitted, roof signs shall be allowed only in instances where the front setback is greater than 200 feet.
 - i. Kiosk type structures with an approved setback of less than 200 feet. Signs may be attached directly to the roof structure, provided they do not extend above the roofline on hipped or gabled type roofs, or extend more than two feet above the roofline on flat roofed buildings. Total signs area shall not exceed one-half square foot per building area square foot, with a maximum allowable of twenty four square feet.

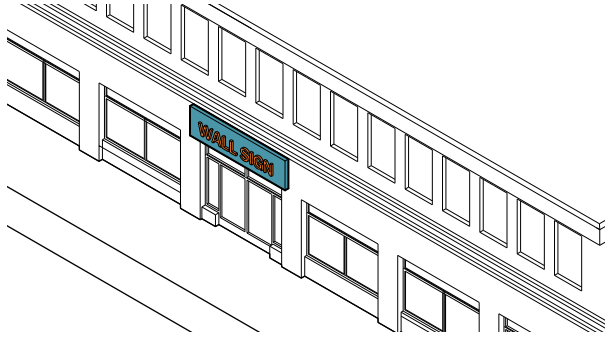
- i. Non-fronting single story low profile flat roofed buildings. When other type building signs are not practical, signs may be attached directly to the roof structure, at a point less than four feet from the walls, and/or wall signs may extend above the roof line. In either case no part of the sign shall extend more than two feet above the roofline or parapet wall.

4. Number of building signs. The following states the number of building types permitted for each sign type pursuant to the districts where each sign is permitted:

- a. Building Signs. Two building signs are permitted per shopfront, which includes individual shopfronts within multi-unit commercial buildings. No more than one of any individual single building sign type shall be permitted.
- b. Free-Standing Signs. Where free-standing signs are permitted, a property may have one free-standing sign per street frontage.

A. FLAT WALL SIGNS

1. Typical Lot Configuration



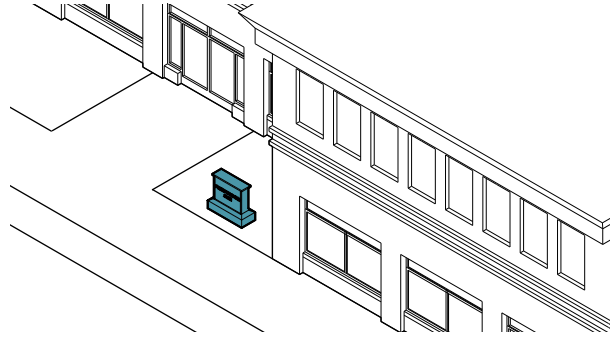
Note: image is illustrative, not regulatory.

2. Description

A sign attached flat or mounted parallel to the facade of a building that identifies a commercial establishment. Wall signs are intended to be viewed by pedestrians on the opposite side of street.

B. FREE-STANDING SIGNS

1. Typical Lot Configuration



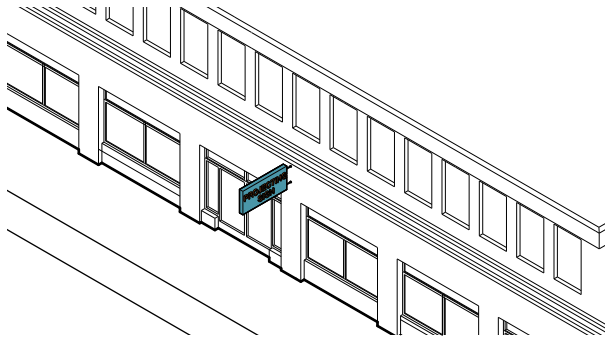
Note: image is illustrative, not regulatory.

2. Description

A sign supported permanently upon the ground by poles, pylons, braces or a solid base and not attached to any building. Freestanding signs are meant to be viewed by pedestrians from a distance and motorists passing by.

C. PROJECTING SIGNS

1. Typical Lot Configuration



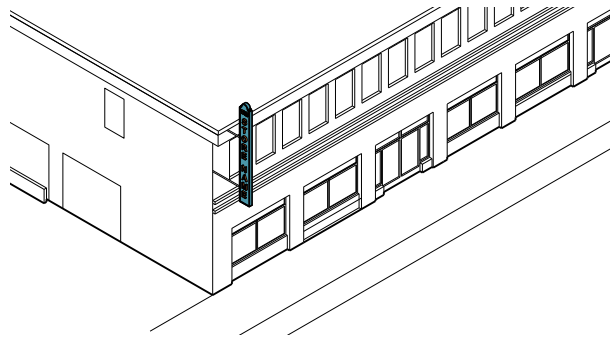
Note: image is illustrative, not regulatory.

2. Description

A small, two-sided, non-illuminated sign that is attached to and projecting perpendicularly from the facade of a building that identifies a commercial establishment. Projecting signs are intended to be viewed by pedestrians on the same side of the street.

D. MARQUEE SIGN

1. Typical Lot Configuration



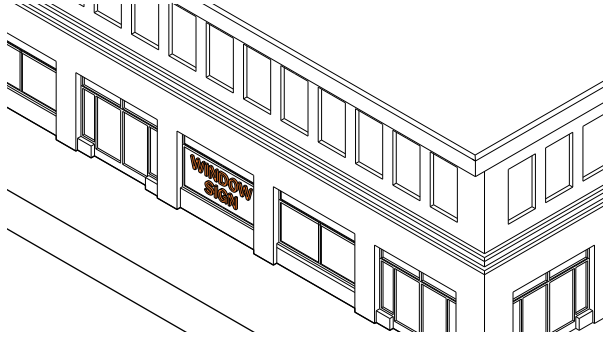
Note: image is illustrative, not regulatory.

2. Description

Any sign attached to and made part of a marquee. A marquee is defined as a permanent roof-like structure projecting beyond a building wall at an entrance to a building or extending along and projecting beyond the building's wall and generally designed and constructed to provide protection against weather.

E. WINDOW AND DOOR SIGN

1. Typical Lot Configuration



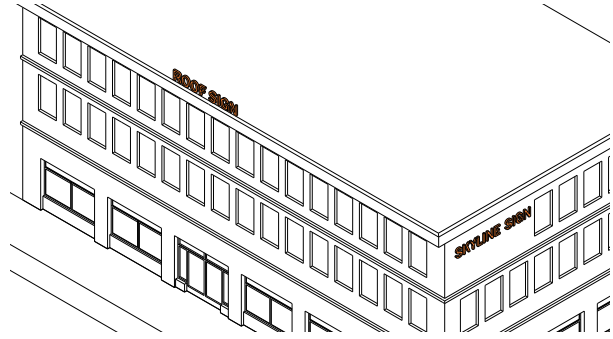
Note: image is illustrative, not regulatory.

2. Description

Individual letters, numerals, or a logo applied directly to the inside of a window or door to identify a commercial establishment. Window and door signs are intended to be viewed at close range by pedestrians.

F. ROOF SIGN

1. Typical Lot Configuration



Note: image is illustrative, not regulatory.

2. Description

A sign erected on the roof or mounted to the uppermost horizontal architectural band of a building to identify the name of the building or primary tenant. Roof/skyline signs are intended to be viewed by pedestrians and motorists from a distance and serve as an icon for the building.

SECTION 1123.11.10 USE DEFINITIONS

TERM	DEFINITION
Accessory uses (any use permitted within the district shall be permitted as an accessory use so long as it is subordinate to the primary use in total gfa devoted to the accessory use)	An accessory use is a use that is incidental to and customarily found in connection with the principal use. An accessory use must be conducted on the same zoning lot as the principal use to which it is related, unless the district regulations permit another location for the accessory use. (Off-site accessory parking facilities, for example, are permitted in certain zoning districts.)
Building material dealers and sales	Retailing, wholesaling or rental of building supplies or construction equipment. This classification includes lumberyards, home improvement sales and services, tool and equipment sales or rental establishments.
Business and professional offices	A building containing the office or offices of a business or businesses engaged in providing professional services, including, but not limited to, the following: accounting; auditing and bookkeeping services; advertising agencies; architectural, engineering, planning, and surveying services; attorneys; counseling services; court reporting services; data processing and computer services; detective agencies and similar services; educational, scientific, and research organizations; employment, stenographic, secretarial, and word processing services; government offices including agency and administrative office facilities; management, public relations, and consulting services; photography and commercial art studios; writers and artists offices outside the home, but not including medical offices or offices that are incidental and accessory to another business or retail sales activity in the building.
Car wash establishments.	A structure, or portion thereof, containing commercial facilities for washing automobiles, using production line methods with a chain conveyor, blower, steam cleaning device, or other mechanical devices. This term includes a manually operated car wash facility when the operation is equivalent in intensity to a mechanized car wash.
Civic, social, cultural organizations or clubs	A public, commercial, or non-profit establishment that provides membership for the participation in, or use of, shared space, programming, or social activities, and may not include any form of adult entertainment business or retail sales.
Commercial indoor recreation	Indoor commercial recreation uses include, but are not limited to, fitness centers, bowling alleys, dancehalls, skating rinks, indoor commercial swimming pools, and racquet and tennis clubs.

TERM	DEFINITION
Commercial outdoor recreation	May include an accessory clubhouse, provided as part of a residential development that is owned and maintained by the owners' association or property owner primarily for the use of the residents of the development, and which is also accessible for use by the public through associate membership subscription or user fees. The term includes community golf courses, swimming pools, tennis courts, basketball courts, and the like.
Commercial retail sales and services	Establishments that engage in the sale of general retail goods and accessory services
Crematories	A facility used for the cremation of corpses.
Day care center	An establishment, other than a day care home, licensed by the state of ohio when required and providing care and supervision for seven or more persons on a less than 24-hour basis. This classification includes nursery schools, preschools, day care centers for children or adults and any other day care facility licensed by the State of Ohio.
Day care, type a	A child care facility located in a permanent residence where an occupant of the residence provides care and supervision for seven to twelve children at one time, including children under the age of 6 related to the provider. The provider must be licensed by the State of Ohio Department of Human Services.
Day care, type b	A child care facility located in a permanent residence where an occupant of the residence provides care and supervision for six or fewer children at one time, including children under the age of 6 related to the provider. No employees are permitted. The provider must be licensed by the State of Ohio Department of Human Services.
Drilling or extractive activities	Activities necessary for removing natural gas or oil from underground and bringing it up to ground level, or any activities, the purpose of which is to remove these materials from natural pools or reservoirs beneath the earth's surface, including well drilling, injection, pumping, and including ancillary activities and facilities necessary for such extraction, without which the extraction could not occur.

TERM	DEFINITION
Drive-in windows and drive-through facilities	Any facility where goods are sold or services provided to a person riding on or seated within a motor vehicle; or where services or inspections are performed on motor vehicles that stand or wait in line immediately prior to the service being performed. Drive-through facilities include, but are not limited to, uses such as car washes, motor vehicle lubrication and oil change facilities, and motor vehicle inspection stations as well as facilities, such as financial institutions, dry cleaners and restaurants, with one or more drive-through windows. Uses excepted from this definition include: (1) inspections utilizing not more than one bay at a motor vehicle service station; (2) fuel service components of motor vehicle service stations; and (3) the on-site parking of motor vehicles prior to servicing at motor vehicle service facilities.
Dwelling, multi-unit (> twelve dwelling units)	A building designed for occupancy of at least twelve dwelling units
Dwelling, multi-unit (four to twelve dwelling units)	A building containing more than four but no more than twelve dwelling units used exclusively for occupancy
Dwelling, single-unit, attached	A one-household dwelling attached to two or more one-household dwellings by common vertical walls.
Dwelling, single-unit, detached	A detached building designed or used exclusively for occupancy by one household (or household equivalent).
Dwelling, three- and four-unit	A building or portion thereof designed for occupancy by three or more households living independently in which they may or may not share common entrances and/or other spaces. Individual dwelling units may be owned as condominiums, or offered for rent.
Dwelling, two-unit	A building containing two dwelling units, arranged one above the other or side by side.
Eating and drinking establishments	Establishments engaged primarily in the sale of food or drink to consumers for onpremises or off-premises consumption
Educational institution	A public or private institution that teaches primary, secondary, post-secondary students. Instruction can include industrial, clerical, managerial, commercial, trade, or artistic skills; or a school conducted as a commercial enterprise, such as a driving school for non-commercial automobiles.
Funeral home and services, excluding crematories.	An establishment providing services related to death, including funerals, cemeteries or mausoleums, for burial and memorials.

TERM	DEFINITION
Gasoline stations	A facility or system which includes tanks, piping or gas equipment (or any combination thereof); is used or intended to be used for the storage, dispensing or other utilization of petroleum gas.
Governmentally owned and/or operated buildings and facilities	A facility or area used for public purposes and owned or operated by an instrumentality or agency of federal, state, or local government.
Group care facility	Development which provides resident services to seven (7) or more individuals. These individuals may be handicapped, aged, or disabled, and undergoing rehabilitation, and are provided services to meet their needs.
Group home	A. Group home, class i. A facility providing 24-hour care in a protected living arrangement for not more than fifteen (i 5) residents. This classification includes foster homes, homes for the physically and mentally impaired, homes for the developmentally disabled, congregate living facilities for persons 60 years of age and older, and maternity homes.
Group home	B. Group home, class ii. A facility providing 24-hour care in a protected living arrangement for not more than fifteen (i 5) residents. This classification includes homes for juvenile delinquents, halfway houses providing residence in lieu of inscirucional sentencing, halfway houses providing residence to those needing correctional and mental institutionalization. This classification also includes emergency shelter during crisis intervention for nor more than fifteen (i 5) victims of crime, abuse, or neglect, and residential rehabilitation for alcohol and chemical dependence for 15 or fewer individuals.
Gyms and physical fitness facilities	A building or portion of a building designed and equipped for the conduct of sports, exercise, leisure time activities, organized fitness class or other customary and usual recreational activities operated for profit or not-for-profit.
Heavy industrial	A principal use consisting of an establishment engaged in manufacturing, assembly, fabrication, packaging, or other industrial processing of products primarily from extracted or raw materials or the bulk storage and handling of such products and materials, or an industrial establishment having potential to produce noise, dust, glare, odors or vibration beyond its property line. This term includes but is not limited to: (a) processing and packaging; (b) chemical manufacturing; (c) stonework or concrete product manufacturing; (d) fabrication of metal products; (e) manufacturing of agricultural, construction, or mining machinery; (f) motor vehicle manufacturing; (g) lumber milling; (h) ship or boat construction (i) permanent concrete/batch plant.

TERM	DEFINITION
Hospital	A facility or institution, whether public or private, principally engaged in providing services for health maintenance, diagnosis or treatment of human diseases, pain, injury, deformity, or physical condition, including but not limited to a general hospital, emergency room, diagnostic center, treatment center, rehabilitation center, extended care center, nursing home, intermediate care facility, outpatient laboratory, or central services facility serving one or more such institutions provided by a licensed practitioner.
Hotels, motels or tourist houses.	Any building or portion thereof which contains guest rooms which are designed or intended to be used, let, or hired out for occupancy on a transient basis and which together are intended to provide for accommodations for compensation to ten or more individuals at any given time. A hotel will be considered a commercial establishment.
Industrial, commercial, or construction services	The processing, manufacturing, or compounding of materials, products, or energy, having impacts on the environment or significant impacts on the use and enjoyment of adjacent property in terms of noise, smoke, fumes, odors, glare, or health and safety hazards.
Instructional spaces and studios	A room or space used primarily for instruction classes and that is not tied to a specific subject or discipline by equipment in the room or the configuration of the space
Large light industrial	A principal use consisting of an establishment engaged in the indoor warehousing, manufacturing, assembly, fabrication, packaging or other industrial processing of finished parts or products, primarily from previously prepared materials, or the indoor provision of industrial services, where there are few external effects across property lines. This term includes but is not limited to a business engaged in the processing, fabrication, assembly, treatment, or packaging of food, textile, leather, wood, paper, chemical, plastic, or metal products, but does not include basic industrial processing from raw materials. Large scale light industrial uses have principal structures of 25,000 square feet or more per lot. Renewable energy generation systems with 25,000 square feet of structure or more per lot are considered large scale light industrial uses.
Large-scale assembly	An establishment that serves as a venue for the congregation of people as a public or private meeting within a structure that has a gross floor area greater than 15,000 for the establishment's activities and events, which includes related support facilities like kitchens, bathrooms, and storage. Performances are permitted as ancillary to the congregation function of the establishment.
Live/work units	A structure or portion of a structure combining a residential living space for one or more persons with an integrated work space principally used by one or more of the residents. The use of chemicals deemed toxic by the cdc within their toxic chemical classifications is prohibited within a live-work unit.

TERM	DEFINITION
Maker Space	A building or portion thereof no larger than 5,000 square feet used for the on-site production of parts or finished products by individual or shared use of hand tools, mechanical tools, and electronic tools and may include space for design and prototyping of new materials, fabrication methodologies, and products, as well as space for packaging, incidental storage, sales, and distribution of such projects. Fumes, noise, dust, or ambient particulate matter from chemicals may not be emitted from the space.
Medical and health care offices	A facility in which substantially all of the services provided constitute the practice of medicine, surgery, dentistry, optometry, podiatry, chiropractic, acupuncture, acupressure, psychology, psychiatry, counseling, medical-related laboratory services, or similar health services; are provided by state licensed health professionals; and are rendered on a one-to-one patient to health professional ratio, on an out-patient or less than 24 hour a day basis.
Micro brewery or distillery	On-site production of beer or liquor which does not exceed 15,000 barrels (465,000 gallons) of beer, or 12,000 gallons of liquor by single-batch production. Associated ancillary drinking establishments may be included on-site.
New and used dealers in motorcycle, motorized bicycle and tricycle and not including motor homes, snowmobiles and their parts and accessories and including repair services thereto.	An establishment for the storage and display for sale of motorcycles, motorized bicycle or tricycles and where repair services are incidental to the operation of the new or used vehicle sales.
Non-industrial food production and catering	A food service establishments prepare food for the public and include restaurants and catering companies.
Nursery and garden supply stores.	A facility, generally operated on a commercial basis, for the growing, display, or sale of plant stock, seeds or other horticulture items. This use may include raising plants outdoors or in greenhouses for sale either as food or for use in landscaping.
Nursing home	A facility operated and dedicated to the care of persons who cannot care for their own needs either partially or totally. This term includes nursing homes, skilled nursing facilities, convalescent homes, special care facilities (e.G., Alzheimer unit), assisted living facilities, adult day care facilities, independent living units such as patio homes, and other similar facilities.

TERM	DEFINITION
Off-street public parking lots and garages.	Off-street parking that serves a particular use without being on the same lot of the use it serves or a public garage where automobiles are parked or stored.
Organizations and associations organized on a profit or non-profit basis for promotion of membership interests.	An establishment that provides membership for the participation in, or use of, shared space, programming, or social activities, and may not include any form of adult entertainment business or retail sales.
Parks and trails	A park, playground, recreation facility and open space. This classification includes , playing fields, courts, public gymnasiums, public community centers, public swimming pools, spraygrounds, picnic facilities, public golf courses and associated facilities, zoos and botanical gardens, as well as related food concessions.
Passenger transportation agencies and terminals.	A facility for passenger transportation operations, including but not limited to a passenger rail station, bus terminal or passenger ship terminal.
Personal service	An establishment which accommodates two or more clients at one time providing nonmedically related services, including, but not limited to, beauty salons, barber shops and tanning salons by professionals, which may also include accessory retail sales of products related to the services provided.
Places of worship	A use located in a permanent building and providing regular organized religious worship and related incidental activities, except child day care center, primary, secondary, college/university, vocational schools, community facility, active and outdoor recreation, and enterprise, indoor and outdoor.
Public utility rights-of-way and pertinent structures and telecommunication towers	Any cables, wires, lines, wave guides, antenna and any other equipment or facilities associated with the transmission or reception of communications as authorized by the fcc which a person seeks to locate or have installed upon a tower antenna support structure. However, “wireless telecommunications facilities” shall not include: dish type signal-receiving satellites up to ten feet in diameter, antennas used for personal or “ham” radios; and citizens band (cb) radios.
Recreational vehicle sales	An establishment for the storage and display for sale of more than two passenger vehicles and where repair or body work is incidental to the operation of the new or used vehicle sales, which include motor vehicle retail or wholesale sales.
Research and development facilities	A building or group of buildings for scientific research, investigation, testing, or experimentation, but not facilities for the manufacture or sale of products.

TERM	DEFINITION
Retail sales < 5,000 sf	A retail establishment containing consumer goods that is no greater than 5,000 square feet.
Retail sales >25,000 sf	A retail establishment containing consumer goods that exceeds 25,000 square feet.
Retail sales 5,000 sf to 25,000 sf	A retail establishment containing consumer goods that is between 5,000 and 25,000 square feet
Senior assisted living facility	Residential facility for elderly persons (age 60 or older) and their spouses, or for persons having such disabilities as to require assistance with daily living tasks, as suggested by their physician. The facility contains four or more dwelling units and/or rooming units, and provides, through on-site personnel, such exclusive resident services as meal preparation, laundry services and room cleaning.
Senior independent living facility	An age-restricted development, which may include detached and attached dwelling units, apartments, and may also have a nursing home component.
Sexually oriented business	An adult arcade, adult bookstore, adult video store, adult cabaret, adult motel or adult entertainment out-call service in the form of semi-nude dancing or exhibition, adult motion picture theater, adult theater, semi-nude model studio, or sexual device shop.
Skilled care facility	A dwelling devoted to two or more persons who have a physical or mental impairment or handicap, or both, that substantially limits one or more major life activities, such as caring for oneself, performing manual tasks, walking, seeing, hearing, speaking, learning, breathing, or working. A physical or mental impairment may include orthopedic, visual, speech, or hearing impairments, Alzheimer's disease, presenile dementia, cerebral palsy, epilepsy, muscular dystrophy, multiple sclerosis, cancer, heart disease, diabetes, mental retardation, autism, or emotional illness.
Small light industrial	A principal use of a lot consisting of an establishment engaged in the indoor warehousing, manufacturing, assembly, fabrication, packaging or other industrial processing of finished parts or products, primarily from previously prepared materials, or the indoor provision of industrial services, where there are few external effects across property lines. This term includes but is not limited to a business engaged in the processing, fabrication, assembly, treatment, or packaging of food, textile, leather, wood, paper, chemical, plastic, or metal products, but does not include basic industrial processing from raw materials. Small light industrial uses have principal structures of less than 25,000 square feet per lot.

TERM	DEFINITION
Small-scale assembly	An establishment that serves as a venue for the congregation of people as a public or private meeting within a structure that contains no more than 15,000 square feet of gross floor area for the establishment's activities and events, which includes related support facilities like kitchens, bathrooms, and storage. Performances are permitted as ancillary to the congregation function of the establishment.
Solar facilities	An integrated assembly of solar panels with a support structure or foundation and other components.
Transitional dwelling	A dwelling unit occupied on a short-term basis by persons assigned by a court of law or public or nonprofit agency responsible for the occupants' care, safety, conduct, counseling and supervision for a specified period of time, including alcoholic recovery, shelters for battered persons and their children, community reentry services following incarceration or other court-ordered treatment and other such short-term supervised assignments.
Urgent care or clinic	An establishment for outpatient-only medical services that apply to medical issues whereby a patient requires more immediate attention or care than can be provided by an appointment with a household doctor or general licensed practitioner, but not including emergency ambulance services
Vehicle and large equipment repair	A facility where providing vehicular service is the primary use of the structure/ business. May require storage of vehicle outside for limited periods of time, any such areas shall be screened.
Veterinarian, animal boarding and services	An establishment where animals are examined and treated by veterinarians and which may include kennels for temporary boarding of animals during treatment.
Warehousing, wholesaling and transportation services.	An enclosed storage facility which is used to store goods or parts, or for any part of the shipping process.